



Request for Proposals (RFP 2025-001)
Construction of a Permanent Stage at Al Woodall Municipal Park
Town of Erwin, North Carolina

Project Location:

Al Woodall Municipal Park
810 South 16th Street
Erwin, NC 28339

1. Project Overview

The Town of Erwin is seeking proposals from licensed general contractors for the construction of a permanent stage at Al Woodall Municipal Park. The park, located at 810 South 16th Street, is a popular venue for concerts and community events, and the town aims to expand its offerings by building a permanent stage to accommodate additional entertainment. The stage will enhance the community's recreational options and provide better facilities for concerts and other cultural events.

Local volunteers, Town staff, and our residents are working diligently to achieve the goals laid out in our 2023 Land Use Plan, the 2025 Creating Outdoor Recreation Economies, and the 2021 Community Economic Recovery and Resiliency Initiative plan(s).

The Town of Erwin is seeking a licensed general contractor to build a stage structure. All bid packets should be submitted by **2PM on Friday, May 9th, 2025**. The contractor that is selected will be notified no later than June 5th, 2025. Work should begin by Tuesday, July 1st, 2025, and should be completed by Friday, September 19th, 2025.

It is required for the contractor to build based off the architectural drawings provided. An electronic copy is included in this packet.

2. Scope of Work

- It is required for the contractor to build based off the architectural drawings provided. An electronic copy is included in this packet.
- Obtain necessary permits. Check with local authorities to obtain the required permits.
- Safety measures: develop a comprehensive safety plan to protect workers, pedestrians and nearby structures during the construction phase.
- Coordinate with proper authorities to locate any underground utilities (811)
- Waste disposal- Properly dispose of all unused materials and trash from the site upon completion of project.
- It is the desire of the Town of Erwin to have the stage completed in time for our annual Denim Days celebration.



3. Key Dates

Bid Submission Deadline: 2PM on May 9th, 2025

- **Notification of Award:** June 5th, 2025
- **Work Start Date:** July 1st, 2025
- **Project Completion Date:** September 19th, 2025

4. Plan Access and Review

Hard copies of the architectural drawings for the project are available for review. To schedule a review, please contact Mark Byrd at the contact information provided below.

5. Q&A Website

If there are any questions or concerns, please contact Mark Byrd, Project Manager, via email at mbyrd@erwin-nc.org by May 1st, 2025. All questions must be asked via e-mail. All questions and answers will be shared on our website at www.erwin-nc.org by no later than 4PM on Monday, May 5th, 2025.

5. Equal Opportunity Statement

The Town of Erwin is an Equal Opportunity Employer and encourages proposals from veteran and minority-owned businesses. We value diversity and are committed to providing opportunities to businesses from all backgrounds.

6. Proposal Submission Instructions

Please submit two hard copies of the bid form (page 3) in a sealed envelope by 2PM on May 9th, 2025, to:

Mark Byrd

Town of Erwin Project Manager
PO Box 459
Erwin, NC 282339
mbyrd@erwin-nc.org

Proposals must be received by 2PM on May 9th, 2025. Late submissions will not be considered.

Proposals may be dropped off in person at the Erwin Town Hall in a sealed envelope at 100 West F Street Erwin, NC 28339 by 2PM on May 9th, 2025.

- a. Evidence of Insurance is required to be maintained in full effect at no additional cost to the Town of Erwin for the duration of this contract the following minimum amounts of insurance:
 - Commercial General Liability with limits of not less than \$500,000.
 - Worker's Compensation as specified by State Law.
 - Employer's Liability with limits not less than \$1,000,000 each occurrence.
 - Automobile:
 - Property Damage Liability with limits of not less than \$1,000,000 per occurrence.
 - Bodily Injury \$500,000 each person
- ii. Prior to commencement of work, the Contractor shall furnish to the Town a copy of the Certificate of Insurance from its insurance carrier verifying these coverage amounts and that shows the Town of Erwin as an additional Insured on the Certificate of Insurance.
- iii. The contractor will hold and save the Town of Erwin, its officers, agents and employees, harmless from any liability of any kind while performing under this contract.



7. Selection Process:

The Selection Committee comprised of Town of Erwin staff will review qualifications in accordance with the evaluation criteria set forth herein. Proposals that are submitted timely and comply with the mandatory requirements of the RFP will be evaluated in accordance with the terms of the RFP. Any contract resulting from this RFP will not necessarily be awarded to the vendor with the lowest price. Instead, the contract shall be awarded to the vendor whose proposal received the most points in accordance with the criteria set forth in RFP.

We look forward to receiving your proposal and working together to enhance the Town of Erwin's community offerings through this exciting project.

BID FORM

Bidder Information: Company Name _____

Address _____

Phone _____

1. I will perform the above-described services for a gross bid fee of \$ _____.

_____ Dollars

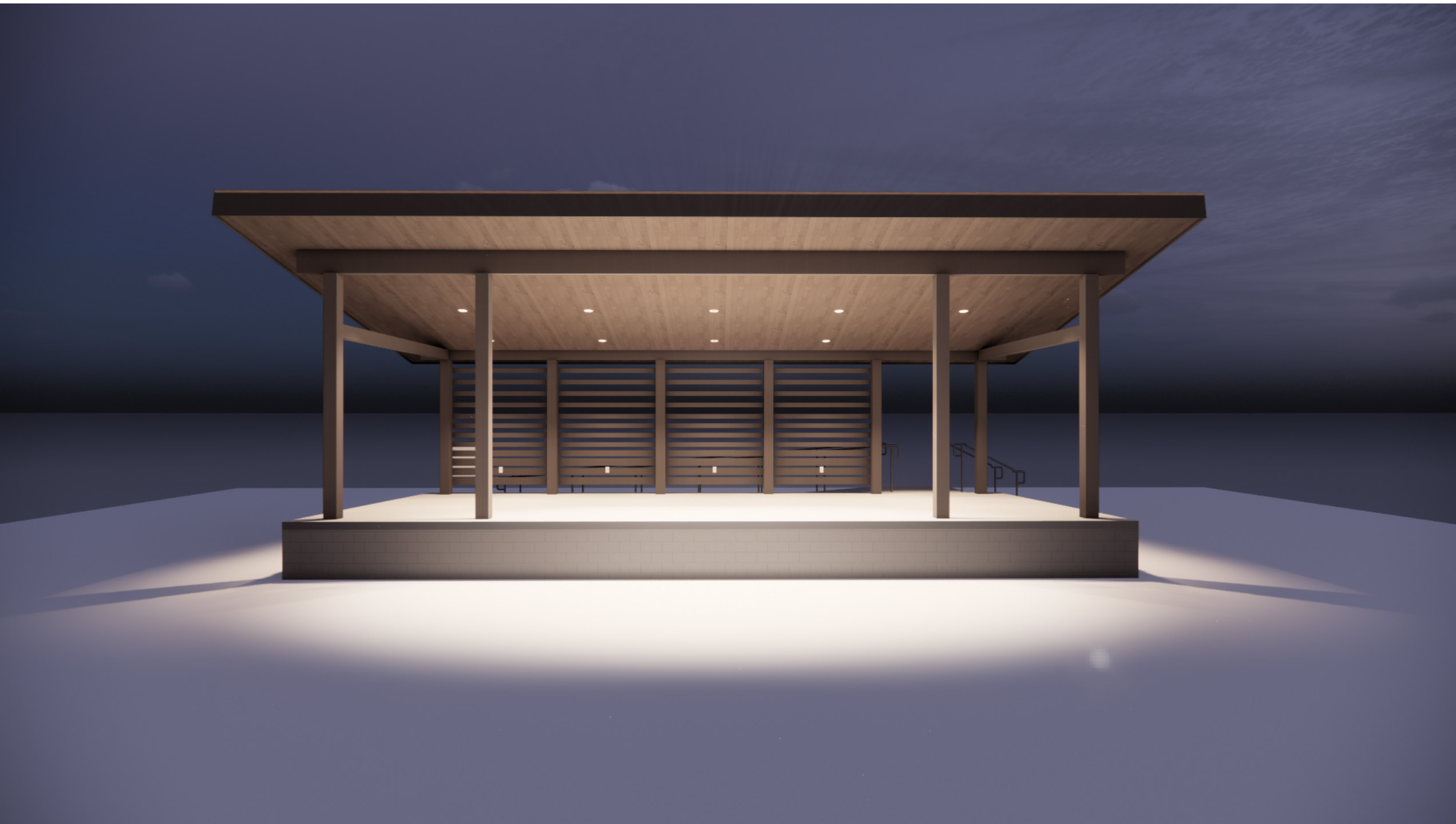
(My Net Bid in words)

Printed Name of Company Representative Signature of Company Representative

General Contractor name and license number

Al Woodall Municipal Park – 810 South 16th Street
Erwin, NC

03.07.2025



CONTACT INFORMATION

PROPERTY OWNER/CLIENT
TOWN OF ERWIN
100 WEST F. ST.
PO BOX 459
ERWIN, NC 28339
CONTACT: SNOW BOWDEN, TOWN MANAGER
PHONE: 910-897-5140
EMAIL: TOWNMANAGER@ERWIN-NC.ORG

ARCHITECT
MAURER ARCHITECTURE
115 1/2 E. HARGETT ST SUITE 300
RALEIGH, NC 27601
CONTACT: BROOKE TATE
PHONE: 919-829-4969
EMAIL: BROOKE@MAURERARCHITECTURE.COM

STRUCTURAL ENGINEER
ROSS LINDEN ENGINEERS
709 W. JONES ST.
RALEIGH, NC 27603
CONTACT: BRIAN ROSS
PHONE: 919.832.5680
EMAIL: BRIAN@ROSSLINDEN.COM

SHEET INDEX

T0.0	COVER
T0.1	BUILDING CODE SUMMARY
T0.2	LIFE SAFETY PLAN, OCCUPANCY, GENERAL ACCESSIBILITY NOTES
T0.3	GENERAL PROJECT NOTES AND SYMBOLS
A1.0	FLOOR PLAN, FOUNDATION PLAN, RCP, ROOF PLAN
A2.0	BUILDING ELEVATIONS
A3.0	BUILDING SECTIONS, DETAIL SECTION
S1	STRUCTURAL PLANS
S2	STRUCTURAL SECTIONS & DETAILS

ACCESSIBILITY SUMMARY

THE FOLLOWING ARE PERFORMANCE SPECIFICATIONS FOR ADHERENCE TO CHAPTERS 10 AND 11 OF THE 2018 NORTH CAROLINA STATE BUILDING CODE (NCSBC) AND ADHERENCE TO SECTION A117.1 OF THE 2009 INTERNATIONAL CODE COUNCIL/AMERICAN NATIONAL STANDARDS INSTITUTE (ICC/ANSI) ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES CODE . REFER TO THE BUILDING ACCESSIBILITY SUMMARY AND DRAWINGS FOR APPLICABILITY OF EACH SECTION AS WELL AS SPECIFIC DESIGN REQUIREMENTS.

2018 NCSBC

CHAPTER 10 - MEANS OF EGRESS

THE REQUIREMENTS OF THIS CODE ARE APPLICABLE FOR THIS PROJECT AND OCCUPANCY CLASSIFICATION. SEE SECTION 1002 FOR DEFINITIONS REGARDING THE MEANS OF EGRESS. REFER TO BUILDING CODE SUMMARY FOR OCCUPANT LOADS. SEE DRAWINGS FOR DESIGN AND DIMENSIONING OF MEANS OF EGRESS. WALKING SURFACES OF THE MEANS OF EGRESS SHALL HAVE A SLIP-RESISTANT SURFACE AND BE SECURELY ATTACHED.

SECTION 1009 - ACCESSIBLE MEANS OF EGRESS SEE DRAWINGS FOR DESIGN & DIMENSIONS OF ACCESSIBLE MEANS OF EGRESS, INCLUDING ONE OR MORE OF THE FOLLOWING: ACCESSIBLE ROUTES, EXIT STAIRWAYS, ACCESSIBLE ELEVATORS, PLATFORM LIFTS, HORIZONTAL EXITS, RAMPS, AND AREAS OF REFUGE. WHERE ELEVATORS ARE REQUIRED AS A MEANS OF EGRESS, THEY SHALL COMPLY TO SECTION 1009.2.1. PLATFORM LIFTS MUST COMPLY TO SECTION 1009.5.

1009.7.2 SEPARATION. Exterior walls separating the exterior area of assisted rescue from the interior of the building shall have a minimum *fire-resistance* rating of 1 hour, rated for exposure to fire from the inside. The *fire-resistance-rated* exterior wall construction shall extend horizontally 10 feet (3048 mm) beyond the landing on either side of the landing or equivalent *fire-resistance-rated* construction is permitted to extend out perpendicular to the exterior wall 4 feet (1220 mm) minimum on the side of the landing. The *fire-resistance-rated* construction shall extend vertically from the ground to a point 10 feet (3048 mm) above the floor level of the area for assisted rescue or to the roof line, whichever is lower. Openings within such *fire-resistance-rated* exterior walls shall be protected in accordance with Section 716.
EXCEPTION: Areas for assisted rescue that are located 10 feet (3048 mm) or more from the exterior face of a building are not required to be separated from the building by *fire-resistance* rated walls or protected openings.

1009.8. TWO-WAY COMMUNICATION. A two-way communication system complying with Section 1009.8.1 and 1009.8.2 shall be provided at the landing serving each elevator or bank of elevators on each accessible floor that is one or more stories above the *level of exit discharge*.
EXCEPTIONS:

1. Two-way communication systems are not required at the landing serving each elevator or bank of elevators where the two-way communication system is provided within *areas of refuge* in accordance with Section 1009.6.5.
2. Two-way communication systems are not required on floors provided with *ramps* conforming to the provisions of Section 1012.
3. Two-way communication systems are not required at the landings serving only service elevators that are not designated as part of the *accessible means of egress* or serve as part of the required *accessible route* into a facility.
4. Two-way communication systems are not required at the landings serving only freight elevators.
5. Two-way communication systems are not required at the landing serving a private residence elevator.

1009.8.1 SYSTEM REQUIREMENTS. Two-way communication systems shall provide communication between each required location and the *fire command center* or central control point location *approved* by the fire department. Where the central control point is not a *continuously attended location*, a two-way communication system shall have a timed automatic telephone dial-out capability to a monitoring location or 9-1-1. The two-way communication system shall include both audible and visible signals.

1009.8.2 DIRECTIONS. Directions for the use of the two-way communication system, instructions for summoning assistance via the two-way communication system and written identification of the location shall be posted adjacent to the two-way communication system. Signage shall comply with the ICC A117.1 requirements for visual characters.

1009.9 SIGNAGE. SIGNAGE indicating special accessibility provisions shall be provided as shown:
1. Each door providing access to an *area of refuge* from an adjacent floor area shall be identified by a sign stating: AREA OF REFUGE
2. Each door providing access to an interior area for assisted rescue shall be identified by a sign stating: EXTERIOR AREA FOR ASSISTED RESCUE.
SIGNAGE shall comply with the ICC A117.1 requirements for visual characters and include the International Symbol of Accessibility. Where exit sign illumination is required by Section 1013.3, the signs shall be illuminated. Additionally, visual characters, raised character and braille signage complying with ICC A117.1 shall be located at each door to an *area of refuge* and exterior area for assisted rescue in accordance with Section 1013.4.

1009.10 DIRECTIONAL SIGNAGE. Direction signage indicating the location of the other *means of egress* and which of those are *accessible means of egress* shall be provided at the following:
1. At *exits* serving a required *accessible* space but not providing an approved *accessible means of egress*.
2. At elevator landings.
3. Within *areas of refuge*.

1009.11 INSTRUCTIONS. In *areas of refuge* and exterior areas for assisted rescue, instructions on the use of the area under emergency conditions shall be posted. Signage shall comply with the ICC A117.1 requirements for visual characters. The instructions shall include all of the following:
1. Persons able to use the *exit stairway* do so as soon as possible, unless they are assisting others.
2. Information on planned availability of assistance in the use of *stairs* or supervised operation of elevators and how to summon such assistance.
3. Directions for use of the two-way communications system where provided.

SEE DRAWINGS FOR DESIGN OF ANY REQUIRED EXTERIOR AREAS FOR ASSISTED RESCUE. THESE AREAS SHALL HAVE IDENTIFICATION AS REQUIRED FOR AREA OF REFUGE THAT COMPLIES WITH SECTION 1009.9.

CHAPTER 11 - ACCESSIBILITY

SECTION 1101 - SCOPE AND DESIGN THE REQUIREMENTS OF THIS CODE ARE APPLICABLE FOR THIS PROJECT AND OCCUPANCY CLASSIFICATION.
SECTION 1102 - DEFINITIONS SEE NCSBC SECTION 1102 & ANSI 117.1.106 FOR WORDS USED IN THESE SPECIFICATIONS.

SECTION 1103 - SCOPING REQUIREMENTS SEE NCSBC SECTION 1103 FOR EXCEPTIONS TO ACCESSIBILITY REQUIREMENTS.

SECTION 1104 - ACCESSIBLE ROUTE SEE SITE DRAWINGS FOR DESIGN OF SITE ACCESSIBILITY. SEE DRAWINGS FOR ALLOCATION OF INTERIOR ACCESSIBLE ROUTE.

SECTION 1105 - ACCESSIBLE ENTRANCES SEE DRAWINGS FOR LOCATIONS AND DESIGN OF ACCESSIBLE ENTRANCES.

SECTION 1106 - PARKING AND PASSENGER LOADING FACILITIES SEE SITE DRAWINGS FOR LOCATIONS AND DESIGN OF PARKING SPACES AND PASSENGER LOADING FACILITIES.

SECTION 1107 - DWELLING UNITS AND SLEEPING UNITS THIS SECTION DOES NOT APPLY TO THIS PROJECT.

SECTION 1108 - SPECIAL OCCUPANCIES THIS SECTION DOES NOT APPLY TO THIS PROJECT.

SECTION 1109 - OTHER FEATURES AND FACILITIES SEE DRAWINGS FOR LOCATIONS AND DESIGN OF ACCESSIBLE PLUMBING FIXTURES, ELEVATORS, LIFTS AND STORAGE.

SECTION 1111 - SIGNAGE

1111.1 SIGNS. Required *accessible* elements shall be identified by the International Symbol of Accessibility at the following locations:

1. *Accessible* parking spaces required by Section 1106.1. Location and design of signage shall comply with the requirements of North Carolina General Statute 20-37.6 and 136-30 and the NCDOT *Manual on Uniform Traffic Control Devices*.
- Exception:** Where the total number of parking spaces provided is four or less, identification of *accessible* parking spaces is not required.
2. *Accessible* parking spaces required by Section 1106.2. Location and design of signage shall comply with the requirements of N.C.G.S. 20-37.6 and 136-30, and the NCDOT *Manual on Uniform Traffic Control Devices*.
- Exception:** In Group 1-1, R-2, R-3 and R-4 facilities, where parking spaces are assigned to specific *dwelling units* or *sleeping units*, identification of *accessible* parking space is not required.
3. *Accessible* passenger loading zones.
4. *Accessible* rooms where multiple single-user toilet or bathing rooms are clustered at a single location.
5. *Accessible* entrances where not all entrances are *accessible*.
6. *Accessible* check-out aisles where not all aisles are *accessible*. The sign, where provided, shall be above the check-out aisle in the same location as the check-out aisle number or type of check-out identification.
7. Family or assisted toilet and bathing rooms.
8. *Accessible* dressing, fitting and locker rooms where not all such rooms are *accessible*.
9. *Accessible* areas of refuge in accordance with Section 1009.9
10. Exterior areas for assisted rescue in accordance with Section 1009.9
11. In recreational facilities, lockers that are required to be *accessible* in accordance with Section 1109.9

1111.2 DIRECTIONAL SIGNAGE. Directional signage indicating the route to the nearest like *accessible* element shall be provided at the following locations. These directional signs shall include the International Symbol of Accessibility and sign characters shall meet the visual character requirements in accordance with ICC A117.1:

1. Inaccessible building entrances.
2. Inaccessible public toilets and bathing facilities.
3. Elevators not serving an *accessible route*.
4. At each separate-sex toilet and bathing room indicating the location of the nearest family or assisted-use toilet or bathing room where provided in accordance with Section 1109.2.1.
5. At *exits* and *exit stairways* serving a required *accessible* space, but not providing an *approved accessible means of egress*, signage shall be provided in accordance with Section 1009.10.

1111.3 OTHER SIGNS. Signage indicating special accessibility provisions shall be provided as shown:
1. Each assembly area required to comply with Section 1108.2.7 shall provide a sign notifying patrons of the availability of assistive listening systems. The sign shall comply with ICC A117.1 requirements for visual characters and include the International Symbol of Access for Hearing Loss.

Exception: Where ticket offices or windows are provided, signs are not required at each assembly area provided that signs are displayed at each ticket office or window informing patrons of the availability of assistive listening systems.
2. At each door to an *area of refuge*, an exterior area for assisted rescue, an *egress stairway*, *exit passageway* and *exit discharge*, signage shall be provided in accordance with Section 1013.4
3. At *areas of refuge*, signage shall be provided in accordance with Sections 1009.11
4. At areas for assisted rescue, signage shall be provided in accordance with Section 1009.11.
5. At two-way communication systems, signage shall be provided in accordance with Section 1009.8.2.
6. In *interior exit stairways* and *ramps*, floor level signage shall be provided in accordance with Section 1023.9
7. Signs identifying the type of access provided on amusement rides required to be *accessible* by Section 1110.4.8 shall be provided at entries to queues and waiting lines. In addition, where *accessible* unload areas also serve as *accessible* load areas, signs indicating the location of the *accessible* load and unload areas shall be provided at entries to queues and waiting lines. These directional sign characters shall meet the visual character requirements in accordance with ICC A117.1.

APPENDIX E - SUPPLEMENTARY ACCESSIBILITY REQUIREMENTS

E103 - ACCESSIBLE ROUTE SEE DRAWINGS FOR DESIGN AND DIMENSIONS OF ANY RAISED PLATFORMS

E104 - SPECIAL OCCUPANCIES THIS SECTION DOES NOT APPLY TO THIS PROJECT.

E105 - OTHER FEATURES AND FACILITIES ALL PORTABLE TOILETS AND BATHING ROOMS, LAUNDRY EQUIPMENT, VENDING MACHINES, MAILBOXES, ATMs, AND TWO-WAY COMMUNICATION SYSTEMS SHALL COMPLY WITH SECTION E105.

E106 - TELEPHONES WHERE TELEPHONES ARE PROVIDED, ACCESSIBLE TELEPHONES SHALL BE PROVIDED ACCORDING TO SECTION E106.

E107 - SIGNAGE

E107.1 SIGNS. Required *accessible* portable toilets and bathing facilities shall be identified by the International Symbol of Accessibility.
E107.2 DESIGNATIONS. Interior and exterior signs identifying permanent rooms and spaces shall be visual characters, raised characters and braille complying with ICC A117.1. Where pictograms are provided as designations of interior rooms and spaces, the pictograms shall have visual characters, raised characters and braille complying with ICC A117.1.
Exceptions:
1. Exterior signs that are not located at the door to the space they serve are not required to comply.
2. Building directories, menus, sent and row designations in assembly areas, occupant names, building addresses and company names and logos are not required to comply.
3. Signs in parking facilities are not required to comply.
4. Temporary (seven days or less) signs are not required to comply.
5. In detention and correctional facilities, signs not located in public areas are not required to comply.

E107.3 DIRECTIONAL AND INFORMATIONAL SIGNS. Signs that provide direction to, or information about, permanent interior spaces of the site and facilities shall contain visual characters complying with ICC A117.1.
Exception: Building directories, personnel names, company or occupant names and logos, menus and temporary (seven days or less) signs are not required to comply with ICC A117.1.

E107.4 OTHER SIGNS. Signage indicating special accessibility provisions shall be provided as follows:
1. At bus stops and terminals, signage must be provided in accordance with Section E108.4.
2. At fixed facilities and stations, signage must be provided in accordance with Sections E109.2.2 through E109.2.2.3.
3. At airports, terminal information systems must be provided in accordance with Section E110.3.

E108 - BUS STOPS THIS SECTION DOES NOT APPLY TO THIS PROJECT.

E109 - TRANSPORTATION FACILITIES AND STATIONS THIS SECTION DOES NOT APPLY TO THIS PROJECT.

E110 - AIRPORTS THIS SECTION DOES NOT APPLY TO THIS PROJECT.

2009 ICC/ANSI A117.1

CHAPTER 1 - APPLICATION AND ADMINISTRATION SEE SECTION 103 FOR COMPLIANCE ALTERNATIVES PROVISION. SEE SECTION 106 FOR DEFINITIONS OF WORDS USED IN THESE SPECIFICATIONS.

CHAPTER 2 - SCOPING THE REQUIREMENTS OF CHAPTERS 1 THROUGH 9 OF THIS CODE ARE APPLICABLE FOR THIS PROJECT AND OCCUPANCY CLASSIFICATION.

CHAPTER 3 - BUILDING BLOCKS SEE DIAGRAMS BELOW AND DRAWINGS FOR DESIGN/INCORPORATION OF ALL REQUIRED TURNING SPACES, CLEAR FLOOR SPACES, KNEE AND TOE CLEARANCES, PROTRUDING OBJECTS, AND REACH RANGES. ALL FLOOR SURFACES TO COMPLY WITH SECTION 302. ALL CHANGES IN LEVEL TO COMPLY WITH SECTION 303. ALL REQUIRED ACCESSIBLE OPERABLE PARTS SHALL HAVE A CLEAR FLOOR SPACE COMPLYING WITH SECTION 305, SHALL BE PLACED WITHIN ONE OR MORE OF THE REACH RANGES SPECIFIED IN SECTION 308, SHALL BE OPERABLE WITH ONE HAND, SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST, AND SHALL NOT REQUIRE MORE THAN 5.0 POUNDS TO ACTIVATE. ALL PROTRUDING OBJECTS ON CIRCULATION PATHS TO COMPLY WITH SECTION 307.

CHAPTER 4 - ACCESSIBLE ROUTES SEE DRAWINGS AND DOOR SCHEDULE FOR DESIGN, DIMENSIONS OF ACCESSIBLE ROUTES, WALKING SURFACES, DOORS AND DOORWAYS, RAMPS, ELEVATORS AND LIFTS. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20, AND THE CROSS SLOPE OF ALL WALKING SURFACES AND RAMP RUNS SHALL NOT BE STEEPER THAN 1:48. FLOOR SURFACES WITHIN REQUIRED MANEUVERING CLEARANCES AT DOORS AND DOORWAYS AND FLOOR SURFACES AT RAMP LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 1:48 AND SHALL COMPLY WITH SECTION 302. DOOR AND DOORWAY THRESHOLDS SHALL COMPLY WITH SECTION 404.2.4. DOOR SURFACES, HARDWARE, CLOSERS, SPRING HINGES, OPENING FORCE, AND VISION LITES SHALL COMPLY WITH SECTION 404.2. ALL AUTOMATIC DOORS AND AUTOMATIC GATES SHALL COMPLY WITH SECTION 404.3. RAMP EDGE PROTECTION SHALL COMPLY WITH SECTION 405.9.1 OR 405.9.2. ALL CURB RAMPS SHALL COMPLY WITH SECTION 406. ELEVATORS SHALL COMPLY WITH SECTION 407 OR 408, AS APPLICABLE, AS WELL AS ASME A17.1 LISTED IN SECTION 105.2.5. ELEVATORS SHALL BE PASSENGER ELEVATORS AS CLASSIFIED BY ASME A17.1. ELEVATOR OPERATION SHALL BE AUTOMATIC. PLATFORM LIFTS SHALL COMPLY WITH SECTION 410, AS WELL AS ASME/ANSI A18.1 LISTED IN SECTION 105.2.6. PLATFORM LIFTS SHALL NOT BE ATTENDANT OPERATED AND SHALL PROVIDE UNASSISTED ENTRY AND EXIT FROM THE LIFT.
CHAPTER 5 - GENERAL SITE AND BUILDING ELEMENTS SEE DRAWINGS FOR DESIGN AND DIMENSIONS OF ALL PARKING, LOADING ZONES, STAIRWAYS, RAILINGS, AND WINDOWS. ALL PARKING AND LOADING MARKING, IDENTIFICATION, FLOOR SURFACES, AND VERTICAL CLEARANCES SHALL COMPLY WITH SECTIONS 502 AND 503. STAIR TREADS AND LANDINGS SUBJECT TO WET CONDITIONS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF WATER. STAIR LIGHTING AND STAIR LEVEL IDENTIFICATION SHALL COMPLY WITH SECTIONS 504.8 AND 504.9. HANDRAIL GRIPPING SURFACES OF HANDRAILS SHALL COMPLY WITH SECTION 505.6. HANDRAILS, AND ANY WALL OR OTHER SURFACES ADJACENT TO THEM, SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS, AND ALL EDGES SHALL BE ROUNDED. HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS. ACCESSIBLE WINDOWS SHALL HAVE OPERABLE PARTS COMPLYING WITH SECTION 309.

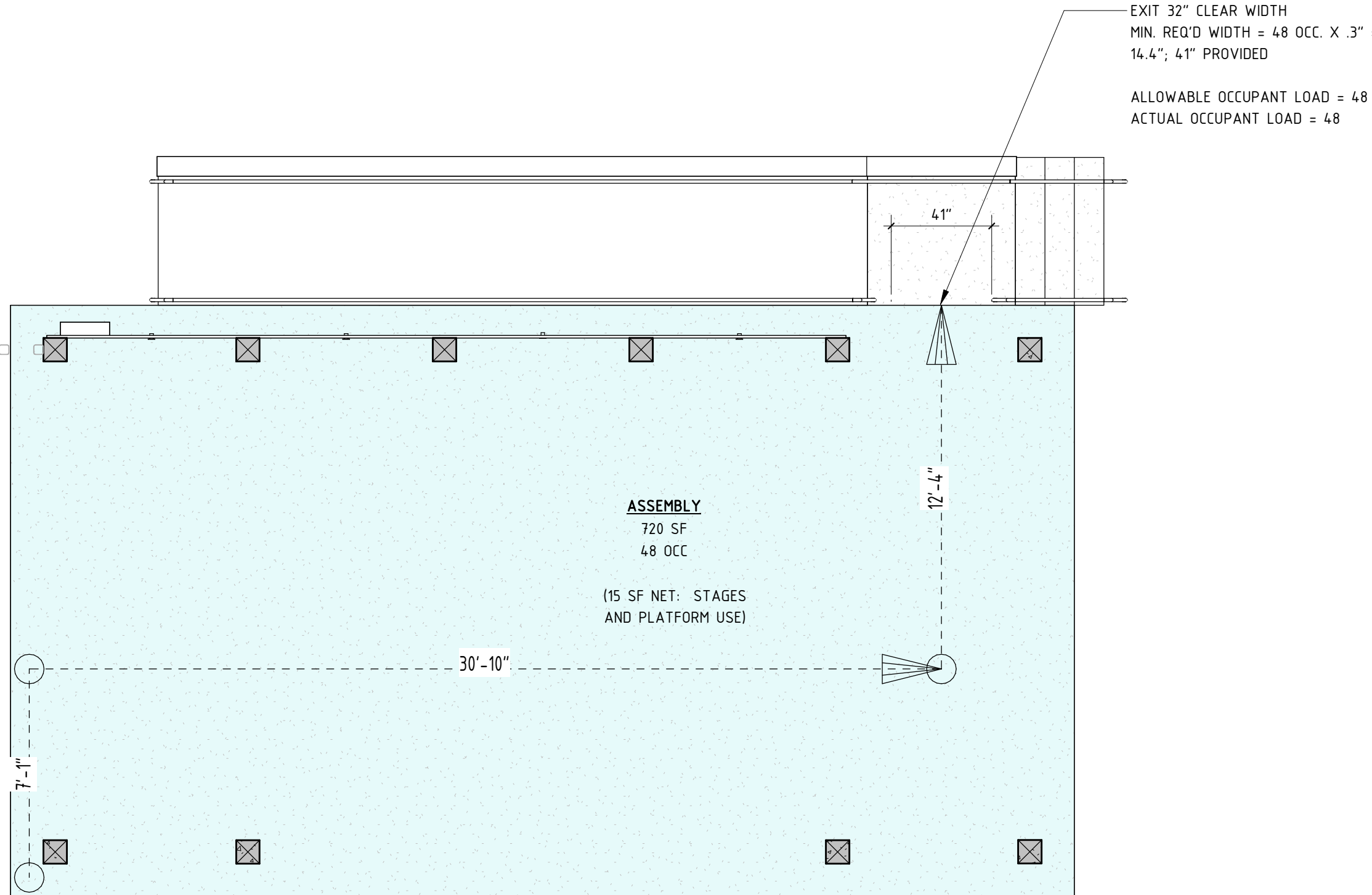
CHAPTER 6 - PLUMBING ELEMENTS AND FACILITIES SEE DRAWINGS AND DIAGRAMS BELOW FOR DESIGN AND DIMENSIONS OF PLUMBING ELEMENTS, FACILITIES AND ACCESSORIES. OPERABLE PARTS SHALL COMPLY WITH SECTION 309. SPOUT LOCATIONS AND WATER FLOW OF DRINKING FOUNTAINS SHALL COMPLY WITH SECTION 602. COAT HOOKS IN TOILET AND BATHING ROOMS SHALL BE LOCATED WITHIN ONE OF THE REACH RANGES SPECIFIED IN SECTION 308. SHELVES IN TOILET AND BATHING ROOMS SHALL BE 40 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FLOOR. IN NON-AMBULATORY ACCESSIBLE COMPARTMENTS COMPLYING WITH SECTION 604.9, ACCESSIBLE TOILET FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET. TOILET PAPER DISPENSERS SHALL NOT BE OF A TYPE THAT CONTROL DELIVERY, OR DO NOT ALLOW CONTINUOUS PAPER FLOW. ACCESSIBLE TOILET PARTITION TOE CLEARANCE SHALL COMPLY WITH SECTION 604.9.5. WHEEL CHAIR ACCESSIBLE AND AMBULATORY ACCESSIBLE COMPARTMENTS SHALL COMPLY WITH SECTIONS 604.8 AND 604.9, RESPECTIVELY. ALL WATER CLOSETS AND TOILET COMPARTMENTS FOR CHILDREN'S USE SHALL COMPLY WITH SECTION 604.11. LAVATORY AND SINK FAUCETS WITH HAND-OPERATED METERING FAUCETS SHALL REMAIN OPEN FOR 10 SECONDS MINIMUM. LAVATORIES WHICH REQUIRE ENHANCED REACH RANGE SHALL COMPLY WITH 606.5. WATER SUPPLY AND DRAINPIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINKS. OPERABLE PARTS ON TOWEL DISPENSERS AND HAND DRYERS SHALL COMPLY WITH TABLE 603.6. GRAB BARS SHALL COMPLY WITH SECTION 609. SEATS IN ACCESSIBLE BATHTUBS AND SHOWER COMPARTMENTS SHALL COMPLY WITH SECTION 610. ACCESSIBLE WASHING MACHINES AND CLOTHES DRYERS SHALL COMPLY WITH SECTION 611.

CHAPTER 7 - COMMUNICATION ELEMENTS AND FEATURES COMMUNICATIONS ELEMENTS AND FEATURES REQUIRED TO BE ACCESSIBLE BY THE 2012 NCSBC SHALL COMPLY WITH THE APPLICABLE PROVISIONS OF CHAPTER 7.

CHAPTER 8 - SPECIAL ROOMS AND SPACES SEE DRAWINGS FOR DESIGN AND DIMENSIONS OF KITCHENS OR KITCHENETTES. ALL APPLICABLE APPLIANCES SHALL COMPLY WITH SECTION 804.5. SECTIONS WHICH DO NOT APPLY TO THIS PROJECT ARE: 802, 805, 806 AND 807.

CHAPTER 9 - BUILT-IN FURNISHINGS AND EQUIPMENT SEE DRAWINGS FOR CONFIGURATION AND DIMENSIONS OF CABINETRY. ALL ACCESSIBLE BENCHES SHALL COMPLY WITH SECTION 903. ALL ACCESSIBLE SALES AND SERVICE COUNTERS SHALL COMPLY WITH SECTION 904 AS APPLICABLE. SEE DRAWINGS FOR DESIGN OF ACCESSIBLE STORAGE FACILITIES. ACCESSIBLE STORAGE ELEMENTS SHALL COMPLY WITH AT LEAST ONE OF THE REACH RANGES SPECIFIED IN SECTION 308, AND ALL OPERABLE PARTS OF STORAGE FACILITIES SHALL COMPLY WITH SECTION 309.

CHAPTER 10 - DWELLING UNITS AND SLEEPING UNITS THIS SECTION DOES NOT APPLY TO THIS PROJECT.



1 LIFE SAFETY PLAN/ OCCUPANCY DIAGRAM
SCALE: 1/4" = 1'-0"



DATE	03.07.2025
DR.	BT
CH.	DSM
PROJ. #	25024

REVISIONS		
NO.	DESCRIPTION	DATE

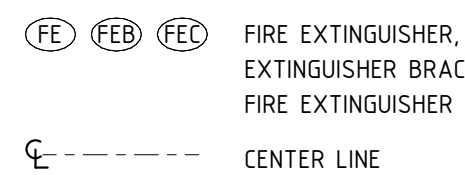
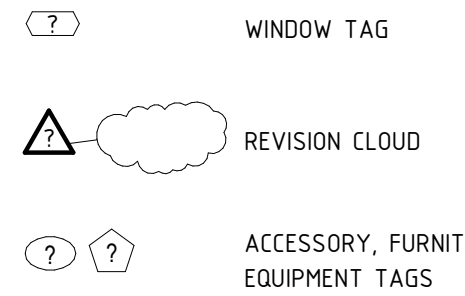
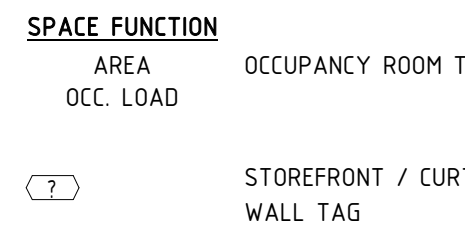
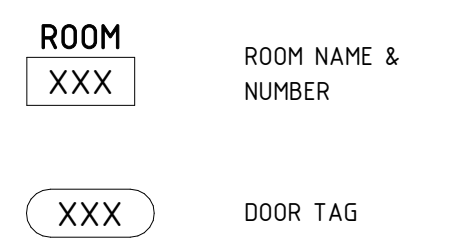
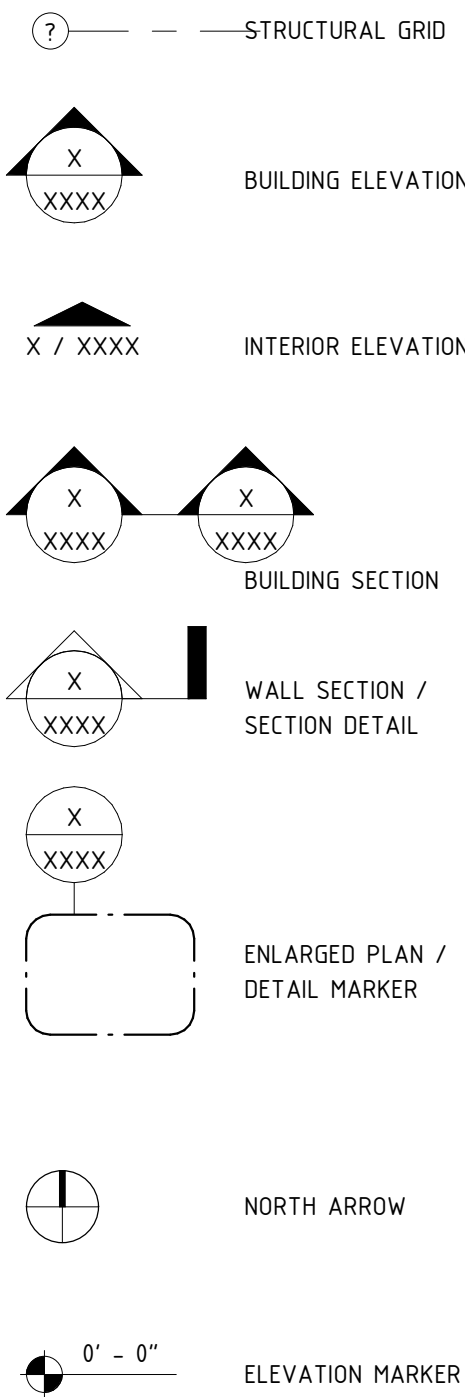
LIFE SAFETY
PLAN,
OCCUPANCY,
GENERAL
ACCESSIBILITY
NOTES

T0.2

&	AND
<	ANGLE
*	ANGLE IN DEGREES
@	AT
X,x	BY
Ø	DIAMETER
(E)	EXISTING
(N)	NEW
%	PERCENT
#	POUNDS OR NUMBER
ABV	ABOVE
ACC	ACCESSIBLE
ACM	ALUMINUM COMPOSITE MATERIAL
ACT	ACOUSTICAL CEILING TILE
AD	ACCESS DOOR, AREA DRAIN
ADA	AMERICANS WITH DISABILITIES ACT
ADD'L	ADDITIONAL
ADJ	ADJACENT
ADMIN	ADMINISTRATION
AF	ACCESS FLOOR
AFF	ABOVE FINISH FLOOR
AGGR	AGGREGATE
AHU	AIR HANDLING UNIT
ALT	ALTERNATE
AL	ALUMINUM
ANOD	ANODIZED
APPROX	APPROXIMATELY
ATR	ABOVE TOP OF RAIL
AUX	AUXILIARY
A/V	AUDIO VISUAL
BD	BOARD
BIT	BITUMEN
BLDG	BUILDING
BLST	BALLAST
BLW	BELOW
BM	BEAM
BO	BOTTOM OF
BOF	BOTTOM OF FOOTING
BOL	BOLLARD
BOT	BOTTOM
BRKT	BRACKET
BTWN	BETWEEN
BUR	BUILT UP ROOF
CB	CATCH BASIN
CEM.	CEMENTITIOUS
CI	CAST IRON
C.I.P.	CAST IN PLACE
CJ	CONTROL JOINT
CL	CENTER LINE
CLK	CAULKING
CLG	CEILING
CLO	CLOSET
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
COMP	COMPOSITE
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
CPT	CARPET
CSJ	CONSTRUCTION JOINT
CTR	CENTER
DBL	DOUBLE
DEG	DEGREE
DEMO	DEMOLITION
DET	DETAIL(S)
D.G.	DECOMPOSED GRANITE
D/I	DIRECT/INDIRECT
DIA	DIAMETER
DIM	DIMENSION
DIST	DISTANCE
DIV	DIVISION
DN	DOWN
DR	DOOR
DS	DOWNSPOUT
DSP	DRY STANDPIPE
DTL	DETAIL
DWG	DRAWING
DWR	DRAWER
E	EAST
EA	EACH
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATION OR ELEVATOR
EO	EDGE OF
EO	EQUAL/EQUAL TO
EOP	EQUIPMENT
EQUIV	EQUIVALENT
ES	EXIT SIGN
EW	ELECTRIC WATER COOLER
EXT	EXTERIOR
F	FIRE ALARM
FD	FLOOR DRAIN
FDC	FIRE DEPARTMENT CONNECTION
FDN	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FFL	FINISH FLOOR LEVEL
FH	FIRE HYDRANT
FLR	FLOOR
FLUOR	FLUORESCENT
FIN	FINISH
F.O.	FACE OF
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOM	FACE OF MASONRY
FOS	FACE OF STUD
FR	FIRE RETARDANT
FRP	FIBERGLASS REINFORCED PLASTIC
FRPT	FIRE RETARDANT/PT FASTENER
FSR	FLAME SPREAD RATING
FT	FOOT, FEET
FTG	FOOTING
FURN	FURNITURE

GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GLAZ	GLAZING
GOVT	GOVERNMENT
GR	GRANITE
GRD	GRADE
GSM	GALVANIZED SHEET METAL
GT	GROUT
GUT	GUTTER
GWB	GYPSUM BOARD
GYP BD	GYPUM BOARD
H	HEIGHT
HB	HOSE BIBB
HC	HANDICAPPED, HOLLOW CORE
HDWD	HARDWOOD
HDWR	HARDWARE
HM	HOLLOW METAL
HO	HOLD OPEN
HORIZ	HORIZONTAL
HR	HOUR
HSS	HOLLOW STRUCTURAL SECTION
HVAC	HEATING, VENTILATION AND AIR CONDITIONING
ID	INSIDE DIAMETER
IFO	INSIDE FACE OF
INCAND	INCANDESCENT
INCL	INCLUDE(ID), INCLUSIVE
INFO	INFORMATION
INSUL	INSULATION
INT	INTERIOR
INV	INVERT
IRR	IRRIGATION
JB	JUNCTION BOX
JST	JOIST
JT	JOINT
LAM	LAMINATED
LAV	LAVATORY
LB	POUND
LD	LINEAR DIFFUSER
LDR	LEADER
LED	LIGHT EMITTING DIODE
LH	LEFT HAND
LIN	LINEAR
LO	LINE OF
LOC	LOCATION
MAINT	MAINTAIN, MAINTENANCE
MAS	MASONRY
MATL	MATERIAL
MAX	MAXIMUM
MDF	MEDIUM DENSITY FIBERBOARD
MECH	MECHANICAL
MEZZ	MEZZANINE
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MTD	MOUNTED
MTL	METAL
N	NORTH
NA	NOT APPLICABLE
NF	NO FINISH
NFC	NO FINISH CEILING
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
NOM	NOMINAL
NPRN	NEOPRENE
NTS	NOT TO SCALE
o/	OVER
OAE	OR APPROVED EQUAL
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFF	OFFICE
OFO	OUTSIDE FACE OF
OF/CI	OWNER FURNISHED / CONTRACTOR INSTALLED
OF/OI	OWNER FURNISHED / OWNER INSTALLED
OH	OPPOSITE HAND
OPP	OPPOSITE
OVFL	OVERFLOW
OVHD	OVERHEAD
OZ	OUNCE
PASS	PASSENGER
P/C	PRECAST
PERF	PERFORATED
PERP	PERPENDICULAR
PKG	PARKING
P/L	PROPERTY LINE
PLAM	PLASTIC LAMINATE
PLBG	PLUMBING
PLY	PLYWOOD
POL	POLISHED
POT	PATH OF TRAVEL
PR	PAIR
PREFIN	PREFINISHED
PRELIM	PRELIMINARY
PRESS	PRESSURE
PROJ	PROJECT
PROP	PROPERTY
PROT	PROTECTION
PT	PRESSURE TREATED
PTD	PAINTED
PVC	POLYVINYL CHLORIDE
RAD	RADIUS
RCP	REFLECTED CEILING PLAN
RE	REFER TO
REINF	REINFORCE(D)
REQD	REQUIRED
RH	RIGHT HAND
RM	ROOM
R.O.	ROUGH OPENING

S	SOUTH
SB	SPLASH BLOCK
S.C.	SOLID CORE
S.C.D.	SEE CIVIL DRAWINGS
SCHED	SCHEDULE
SECT	SECTION
S.E.D.	SEE ELECTRICAL DRAWINGS
SM	SIMILAR
SL	SLOPE
S.L.A.D.	SEE LANDSCAPE DRAWINGS
S.M.	SURFACE MOUNTED
S.M.D.	SEE MECHANICAL DRAWINGS
S.P.D.	SEE PLUMBING DRAWINGS
SPECS	SPECIFICATIONS
S.S.	STAINLESS STEEL
S.S.D.	SEE STRUCTURAL DRAWINGS
STL	STEEL
STRUCT	STRUCTURE
THK	THICK
THRU	THROUGH
T.O.	TOP OF
T.O.F.	TOP OF FOOTING
TYP	TYPICAL
UNO/UON	UNLESS NOTED OTHERWISE
VER	VERIFY
VIF	VERIFY IN FIELD
W/	WITH
WC	WATER CLOSET
WD	WOOD



GENERAL PROJECT NOTES

GENERAL REGULATORY REQUIREMENTS

- ALL WORK SHALL CONFORM TO:
 - CURRENT *NORTH CAROLINA STATE BUILDING CODE* (2018 IBC AND CURRENT NC AMENDMENTS)
 - RULES AND REGULATIONS OF APPLICABLE STATE AND/OR LOCAL PUBLIC UTILITIES
 - AMERICANS WITH DISABILITIES ACT, 26 JULY 1991 AND ANSI 117.1 (2009) WITH RESPECTIVE CURRENT AMENDMENTS
- THE BUILDING CODE COMPLIANCE SUMMARIES AND LIFE SAFETY PLANS ARE GENERAL GUIDES TO THE CONSTRUCTION CRITERIA DEVELOPED FOR THIS PROJECT. THEY ARE NOT INTENDED TO BE A COMPLETE LIST OF CODE REQUIREMENTS.
- PENETRATIONS OF ALL PIPES, CONDUITS, SWITCHES, OUTLETS, AND ANY OTHER ITEMS AT RATED ASSEMBLIES SHALL BE FIRE-STOPPED.
- THE INTEGRITY OF THE FIRE RESISTANCE RATING OF ALL RATED SHAFT ENCLOSURES, CEILINGS, AND PARTITIONS SHALL BE MAINTAINED BEHIND RECESSED WALL OR CEILING ACCESSORIES, INCLUDING FIRE EXTINGUISHER CABINETS, TOILET ACCESSORIES, ELECTRICAL JUNCTION BOXES, AND ANY OTHER ITEMS WHERE THEY OCCUR.

GENERAL COORDINATION REQUIREMENTS

- THE CONTRACT DOCUMENTS INCLUDE THE DRAWINGS, PROJECT MANUAL, ANY ADDENDA, AND ANY RELATED REGULATORY DOCUMENTS PROVIDED BY THE ARCHITECT. EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO, PART 2 HISTORIC TAX CREDIT APPLICATIONS AND LOCAL DESIGN OR HISTORIC APPROVALS.
- REFER TO THE PROJECT MANUAL (IF PROVIDED) FOR COMPLETE GENERAL REQUIREMENTS AND CONDITIONS OF THE CONTRACT DOCUMENTS. IF A PROJECT MANUAL IS NOT PROVIDED, AIA DOCUMENT A201 (2007) *GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION* SHALL SERVE AS THE GENERAL REQUIREMENTS AND CONDITIONS OF THE CONTRACT DOCUMENTS. IN THE EVENT OF A CONFLICT BETWEEN THE VARIOUS ELEMENTS OF CONTRACT DOCUMENTS, THE MORE RESTRICTIVE PROVISION OR REQUIREMENT SHALL APPLY.
- THE CONTRACT DOCUMENTS REPRESENT THE DESIGN INTENT FOR THE FINISHED STRUCTURE AND/OR SITE. UNLESS SPECIFICALLY NOTED, THEY DO NOT INDICATE THE MEANS OR METHOD OF INSTALLATION. THE GENERAL CONTRACTOR (OR CMAR) SHALL COORDINATE, SUPERVISE, AND DIRECT ALL WORK. SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, PROCEDURES, TECHNIQUES, AND SEQUENCE, AND SHALL COMPLY WITH ALL APPLICABLE SAFETY REGULATIONS.
- PRIOR TO BIDDING, THE GENERAL CONTRACTOR (OR CMAR) AND EACH SUB-CONTRACTOR ARE RESPONSIBLE FOR REVIEWING AND COMPARING THE VARIOUS ELEMENTS OF THE CONTRACT DOCUMENTS. BIDS ARE REQUIRED TO INCLUDE ALL WORK REQUIRED FOR A COMPLETE JOB BASED ON ALL ELEMENTS OF THE CONTRACT DOCUMENTS.
- PRIOR TO BIDDING, THE GENERAL CONTRACTOR (OR CMAR) AND EACH SUB-CONTRACTOR ARE RESPONSIBLE FOR VISITING THE PROJECT SITE TO FAMILIARIZE THEMSELVES WITH ALL CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED AND ARE RESPONSIBLE FOR INCLUDING IN THEIR BID ALL WORK REQUIRED FOR A COMPLETE JOB.
- THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR REVIEWING AND COORDINATING THEIR WORK WITH ALL OF THE CONTRACT DOCUMENTS PRIOR TO BEGINNING ANY WORK ON SUBMITTALS, SHOP DRAWINGS, FABRICATION, OR INSTALLATION. OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE GENERAL CONTRACTOR (OR CMAR) IN WRITING AND SHALL BE RESOLVED WITH THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.
- THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OWNER'S VENDORS INCLUDING, BUT NOT LIMITED TO, TELECOMMUNICATIONS, AUDIO/VISUAL AND SECURITY SYSTEMS. ANY CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF CONTRACT DOCUMENTS AND THE OWNER'S VENDORS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE GENERAL CONTRACTOR (OR CMAR) IN WRITING AND SHALL BE RESOLVED WITH THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.
- EXISTING CONDITIONS FOR THE BUILDING AND/OR SITE AS REPRESENTED IN THE CONTRACT DOCUMENTS ARE NOT GUARANTEED. PRIOR TO BEGINNING ANY WORK ON SUBMITTALS, SHOP DRAWINGS, FABRICATION, OR INSTALLATION, THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR INVESTIGATING AND VERIFYING THE EXISTENCE AND LOCATION OF EXISTING CONSTRUCTION AFFECTING THE WORK INCLUDING, BUT NOT LIMITED TO, UNDERGROUND AND OVERHEAD UTILITIES, EXISTING BUILDING SYSTEMS, FLOOR ELEVATIONS, AND OTHER STRUCTURAL OR BUILDING DATUMS.

GENERAL DIMENSIONING REQUIREMENTS

- DIMENSIONS ARE NOTED OR CAN BE DETERMINED FROM OTHER INFORMATION INCLUDING IN THE DRAWINGS. VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS. DO NOT PROCEED WITH AFFECTED WORK OR RELATED WORK UNTIL THE VARIATIONS OR OMISSIONS HAVE BEEN RESOLVED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. DRAWING SHEETS LESS THAN 24x36" MAY HAVE BEEN REDUCED FROM THE ORIGINALS.
- ALL DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS OTHERWISE NOTED.
- WALLS, BULKHEADS, AND/OR OTHER ARCHITECTURAL ELEMENTS SHOWN TO ALIGN ARE TO HAVE FINISH FACES ALIGN UNLESS OTHERWISE NOTED.
- IF PROVIDED, REFER TO ENLARGED PLANS AND PLAN DETAILS FOR ADDITIONAL INFORMATION AND DIMENSIONS.
- ANY DIMENSIONS AND/OR ELEVATIONS OF OR TYING INTO EXISTING BUILDING COMPONENTS ARE TO BE FIELD-VERIFIED BY GENERAL CONTRACTOR (OR CMAR) PRIOR TO COMMENCEMENT OF SHOP DRAWINGS, FABRICATION, OR INSTALLATION. VERIFY ANY DISCREPANCIES W/ ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- REFER TO P/M/E/FP DRAWINGS FOR QUANTITY AND DESIGN OF ALL FIXTURES / DEVICES / ETC. REFER TO ARCHITECTURAL ENLARGED PLANS AND ELEVATIONS FOR EXACT PLACEMENT OF ANY DEVICES INDICATED. LOCATIONS OF ALL PLUMBING, MECHANICAL, ELECTRICAL, FIRE ALARM, SPRINKLER, AND TELECOMMUNICATIONS DEVICES, FIXTURES, AND ACCESSORIES DIMENSIONED, NOTED, OR OTHERWISE DESCRIBED ON ARCHITECTURAL ENLARGED PLANS AND ELEVATIONS, ARE EXACT. ALL NEW FRAMING MUST ACCOMMODATE THESE LOCATIONS.
- ALIGN ALL ELECTRICAL, MECHANICAL, FIRE ALARM, AND TELEDATA / CABLE DEVICES WHERE IN CLOSE PROXIMITY. COORDINATE WITH OTHER TRADES TO RESERVE PATHWAYS TO MULTIPLE DEVICES - THIS MAY REQUIRE PIPING TO THE SIDES OF JUNCTION BOXES OR DEVICES.

GENERAL MATERIAL REQUIREMENTS

- PROVIDE GALVANIC ISOLATION AT ALL DISIMILAR MATERIALS.
- PROVIDE PRESSURE-TREATED MATERIAL AT LOCATIONS OF WOOD IN CONTACT WITH MASONRY.
- MAINTAIN CONTINUITY OF AIR/WEATHER BARRIER AT ALL OPENINGS AND PENETRATIONS.
- PROVIDE END DAMS AT ALL SILL CONDITIONS.

OTHER REQUIREMENTS

- TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE INCORPORATED AT ALL APPROPRIATE LOCATIONS WHETHER OR NOT SPECIFICALLY REFERENCED AT EACH LOCATION.
- THE GENERAL CONTRACTOR (OR CMAR) IS RESPONSIBLE FOR ANY REQUIRED DEMOLITION, TEMPORARY SUPPORT OF, AND/OR DAMAGE TO NEW OR EXISTING STRUCTURE DURING CONSTRUCTION. ANY UTILITY LINES, PIPING, EQUIPMENT, FINISHES, OR ANY OTHER PORTIONS OF THE EXISTING BUILDING OR NEW CONSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AND/OR REPLACED AT THE ARCHITECT'S DIRECTION AT THE EXPENSE OF THE RESPONSIBLE CONTRACTOR.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR MATERIALS INDICATED TO BE REMOVED WITHOUT DAMAGING UNDERLYING MATERIALS AND SURFACES. ALL PATCHING AND PREPARING SHALL BE DONE TO MATCH EXISTING ADJACENT SURFACES.
- THE GENERAL CONTRACTOR (OR CMAR) IS TO COORDINATE, PROVIDE, AND INSTALL CONCEALED BLOCKING FOR ALL WALL- AND CEILING-MOUNTED ITEMS INCLUDING, BUT NOT LIMITED TO, HAND RAILS, GRAB BARS, CABINETY AND OTHER CASEWORK, EQUIPMENT, OWNER- AND/OR VENDOR- PROVIDED ITEMS, ETC. BLOCKING IS TO BE FIRE-RETARDANT WOOD OR 20ga METAL WITH A FLAME SPREAD AND SMOKE DEVELOPMENT RATING <25 IF THE PROJECT IS IDENTIFIED AS A TYPE 1 OR TYPE 2 BUILDING IN THE CODE SUMMARY.

- CONDUIT, WIRING, OR PIPING SHALL BE ROUTED SUCH THAT IT MAY BE CONCEALED WHEREVER POSSIBLE UNLESS SPECIFICALLY NOTED OTHERWISE. ANY CONDUIT, WIRING, OR PIPING THAT CANNOT BE ROUTED IN A CONCEALED MANNER MUST BE IDENTIFIED BY THE GENERAL CONTRACTOR AND REVIEWED AND COORDINATED W/ ARCHITECT PRIOR TO COORDINATION DRAWINGS (IF REQUIRED) OR INSTALLATION (IF COORDINATION DRAWINGS ARE NOT REQUIRED).
- IN AREAS OF HARD CEILING, BUILDING SYSTEMS SHALL BE CONFIGURED TO MINIMIZE REQUIRED ABOVE-CEILING ACCESS. THE LOCATION OF ALL ACCESS DOORS MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY ABOVE-CEILING EQUIPMENT, DAMPERS, VALVES, JUNCTION BOXES, ETC. ACCESS DOORS SHALL BE PROVIDED AND INSTALLED FOR ANY WORK THAT REQUIRES ABOVE-CEILING ACCESS. ADDITIONALLY, ANY ACCESS DOORS OR PANELS REQUIRED IN WALLS MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY EQUIPMENT REQUIRING ACCESS.
- ALL FRAMING, SOUND ATTENUATION, AND GYP BOARD FOR NON-RATED SOUND-ATTENUATED WALLS SHALL CONTINUE TO THE UNDERSIDE OF DECK UNLESS SPECIFICALLY NOTED. OTHERWISE, GYP BOARD SHALL BE SEALED TO DECK AT EACH FACE WITH JOINT COMPOUND, SEALANT, AND/OR EXPANDING FOAM (ACCEPTABLE ONLY IN CONCEALED CONDITIONS). ANY REQUIRED PIPE, DUCT, OR WIRING PENETRATIONS SHALL BE SEALED AS DESCRIBED ABOVE.
- ALL DEBRIS SHALL BE TRANSPORTED FROM THE SITE AND LEGALLY DISPOSED OF BY THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.
- ALL MATERIALS, COMPONENTS, AND SYSTEMS SHALL BE INSTALLED PER MANUFACTURER'S INSTALLATION REQUIREMENTS/RECOMMENDATIONS AND WARRANTY. REQUIREMENTS EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE REQUIRED BY THE CONTRACT DOCUMENTS OR APPLICABLE CODES OR REGULATIONS.

GENERAL DEMOLITION NOTES

THE DEMOLITION AND REMOVAL WORK SHALL BE PERFORMED AS DESCRIBED IN THE DEMOLITION DOCUMENTS. THE WORK REQUIRED SHALL BE DONE WITH CARE, AND SHALL INCLUDE ALL REQUIRED SHORING, BRACING, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE, WHICH MAY BE CAUSED BY DEMOLITION AND REMOVAL WORK TO ANY PART OR PARTS OF EXISTING STRUCTURES OR ITEMS DESIGNATED FOR REUSE OR TO REMAIN. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL PROVIDE A DETAILED DESCRIPTION OF METHODS AND EQUIPMENT TO BE USED FOR EACH OPERATION AND THE SEQUENCE THEREOF FOR REVIEW BY THE ARCHITECT.

INVESTIGATION

THE CONTRACTOR SHALL MAKE SUCH INVESTIGATIONS, EXPLORATIONS AND PROBES AS ARE NECESSARY TO ASCERTAIN ANY REQUIRED PROTECTIVE MEASURES BEFORE PROCEEDING WITH DEMOLITION AND REMOVAL. THE CONTRACTOR SHALL GIVE PARTICULAR ATTENTION TO SHORING AND BRACING REQUIREMENTS SO AS TO PREVENT ANY DAMAGE TO NEW OR EXISTING CONSTRUCTION.

HAZARDOUS MATERIAL

THE CONTRACTOR MAY ENCOUNTER HAZARDOUS MATERIAL INCLUDING, BUT NOT LIMITED TO, LEAD-BASED PAINT. ALL HAZARDOUS MATERIALS SHALL BE ADDRESSED IN ACCORDANCE WITH OSHA AND NCEMNR REQUIREMENTS. ANY QUESTIONABLE MATERIALS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT. THE OWNER WILL MAKE ARRANGEMENTS TO SAMPLE AND TEST MATERIALS. IF DEEMED HAZARDOUS, THE OWNER WILL FURTHER ARRANGE ABATEMENT OF THE MATERIAL. UNLESS NOTED OTHERWISE, LEAD-BASED PAINTS WILL NOT BE ABATED.

MATERIAL DISPOSAL/SALVAGE

ALL DEBRIS RESULTING FROM THE DEMOLITION AND REMOVAL WORK SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR UNLESS NOTED OTHERWISE. MATERIAL DESIGNATED BY THE ARCHITECT OR ENGINEER TO BE SALVAGED SHALL BE STORED ON THE CONSTRUCTION SITE AS DIRECTED. A PRE-DEMOLITION WALKTHROUGH WITH THE ARCHITECT AND OWNER SHALL BE CONDUCTED TO IDENTIFY COMPONENTS THAT ARE TO BE SALVAGED. RECYCLING AND/OR DISPOSAL IS TO BE CONDUCTED IN ACCORDANCE WITH LEED REQUIREMENTS.

EXISTING STRUCTURES

WHERE PORTIONS OF THE EXISTING STRUCTURE TO REMAIN ARE TO BE IMPACTED, DEMOLISH THE PORTIONS TO BE REMOVED, REPAIR DAMAGE, AND LEAVE THE STRUCTURE IN PROPER CONDITION FOR THE INTENDED USE. REMOVE CONCRETE AND MASONRY TO THE LINES DESIGNATED BY DRILLING, CHIPPING, OR OTHER SUITABLE METHODS UNLESS DIRECTED OTHERWISE BY ARCHITECT. LEAVE THE RESULTING SURFACES REASONABLY TRUE AND EVEN, WITH SHARP STRAIGHT CORNERS THAT WILL RESULT IN NEAT JOINTS WITH NEW CONSTRUCTION AND BE SATISFACTORY FOR THE PURPOSE INTENDED. WHERE ALTERATIONS OCCUR, OR NEW AND OLD WORK ARE TO JOIN, THE CONTRACTOR SHALL CUT, REMOVE, PLUG, REPAIR OR REMOVE THE ADJACENT MATERIALS TO THE EXTENT REQUIRED BY THE CONSTRUCTION CONDITIONS, SO AS TO LEAVE THE ALTERED WORK IN AS GOOD A CONDITION AS PRACTICAL.

TEMPORARY PROTECTION

THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN, LIGHTS, BARRIERS, WEATHER PROTECTION, WARNING SIGNS AND OTHER ITEMS AS REQUIRED FOR PROPER PROTECTION OF THE PUBLIC AS WELL AS WORKMEN ENGAGED IN DEMOLITION OPERATIONS. THE CONTRACTOR SHALL ALSO PROTECT WALLS, WINDOWS, ROOFS, AND OTHER ADJACENT EXTERIOR CONSTRUCTION THAT ARE TO REMAIN AND THAT ARE EXPOSED TO BUILDING DEMOLITION OPERATIONS. THE CONTRACTOR SHALL REMOVE TEMPORARY WORK, SUCH AS ENCLOSURES, SIGNS, GUARDS, AND THE LIKE WHEN SUCH TEMPORARY WORK IS NO LONGER REQUIRED OR WHEN DIRECTED AT THE COMPLETION OF THE WORK.

EXISTING UTILITIES

THE CONTRACTOR SHALL INSPECT THE EXISTING UTILITIES, INCLUDING ELECTRICAL, PLUMBING, TELE/DATA AND MECHANICAL SYSTEMS TO DETERMINE THE EXTENT OF THE WORK REQUIRED. CARE SHALL BE TAKEN TO NOT REMOVE UTILITIES THAT ARE FEEDING THE ADJACENT PROPERTIES.

A. COORDINATE DE-ENERGIZATION AND REMOVAL/DISPOSAL OF ALL INCOMING UTILITIES TO BE REMOVED WITH LOCAL UTILITY COMPANIES. SUBMIT CONFIRMATION THAT SERVICES HAVE BEEN DECOMMISSIONED IN WRITING TO THE ARCHITECT.

B. WITH THE EXCEPTION OF A PANEL TO DISTRIBUTE POWER DURING THE CONSTRUCTION PERIOD, ALL ELECTRICAL APPARATUS AND ASSOCIATED COMPONENTS THROUGHOUT THE BUILDING ARE TO BE REMOVED AND DISPOSED. ITEMS TO BE REMOVED INCLUDE, BUT ARE NOT LIMITED TO, SUBPANELS, CONDUIT, TELE/DATA, WIRING, BOXES, RECEPTACLES, FIXTURES, SWITCHES, SUPPORTS, MISCELLANEOUS DEVICES, ETC. LIGHTING LAMP COMPONENTS AND BALLASTS, AS WELL AS ELECTRONIC EQUIPMENT CONTAINING HAZARDOUS MATERIALS SUCH AS MERCURY, LEAD AND PCBs (POLYCHLORINATED BIPHENYL) SHALL BE PROPERLY HANDLED, PROTECTED, STORED AND DISPOSED OF IN ACCORDANCE WITH ALL ENVIRONMENTAL, SAFETY, AND GOVERNMENTAL REGULATIONS RELATED TO THESE ITEMS.

C. IN THE EVENT THAT IT IS PRESENT, REMOVE EXISTING GAS PIPING, REGULATORS, ETC. THROUGHOUT THE BUILDING. COORDINATE WORK WITH LOCAL GAS UTILITY COMPANY. GAS PIPING TO BE ABANDONED IN PLACE SHALL BE PURGED THEN CAPPED AND SEALED WITH SAME MATERIALS AS EXISTING PIPING.

D. ANY FEES AND/OR PERMITS REQUIRED BY LOCAL UTILITIES AND LOCAL JURISDICTION ASSOCIATED WITH REMOVAL OF EXISTING EQUIPMENT, PIPING, METERS, ETC. BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.



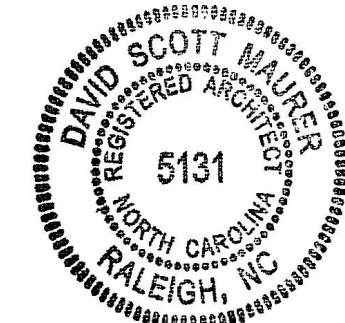
919 829 4969

115 1/2 E. Hargett St

Suite 300

Raleigh, NC 27601

maurerarchitecture.com



PROJECT TYPE: New Construction

Town of Erwin Stage

Al Woodall Municipal Park - 810 South 16th Street
Erwin, NC

DATE	03.07.2025
DR.	BT
CH.	DSM
PROJ. #	25024

REVISIONS		
NO.	DESCRIPTION	DATE

- COORDINATE DE-ENERGIZATION AND REMOVAL/DISPOSAL OF ALL INCOMING UTILITIES TO BE REMOVED WITH LOCAL UTILITY COMPANIES. SUBMIT CONFIRMATION THAT SERVICES HAVE BEEN DECOMMISSIONED IN WRITING TO THE ARCHITECT.
- WITH THE EXCEPTION OF A PANEL TO DISTRIBUTE POWER DURING THE CONSTRUCTION PERIOD, ALL ELECTRICAL APPARATUS AND ASSOCIATED COMPONENTS THROUGHOUT THE BUILDING ARE TO BE REMOVED AND DISPOSED. ITEMS TO BE REMOVED INCLUDE, BUT ARE NOT LIMITED TO, SUBPANELS, CONDUIT, TELE/DATA, WIRING, BOXES, RECEPTACLES, FIXTURES, SWITCHES, SUPPORTS, MISCELLANEOUS DEVICES, ETC. LIGHTING LAMP COMPONENTS AND BALLASTS, AS WELL AS ELECTRONIC EQUIPMENT CONTAINING HAZARDOUS MATERIALS SUCH AS MERCURY, LEAD AND PCBs (POLYCHLORINATED BIPHENYL) SHALL BE PROPERLY HANDLED, PROTECTED, STORED AND DISPOSED OF IN ACCORDANCE WITH ALL ENVIRONMENTAL, SAFETY, AND GOVERNMENTAL REGULATIONS RELATED TO THESE ITEMS.

C. IN THE EVENT THAT IT IS PRESENT, REMOVE EXISTING GAS PIPING, REGULATORS, ETC. THROUGHOUT THE BUILDING. COORDINATE WORK WITH LOCAL GAS UTILITY COMPANY. GAS PIPING TO BE ABANDONED IN PLACE SHALL BE PURGED THEN CAPPED AND SEALED WITH SAME MATERIALS AS EXISTING PIPING.

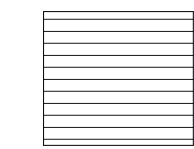
D. ANY FEES AND/OR PERMITS REQUIRED BY LOCAL UTILITIES AND LOCAL JURISDICTION ASSOCIATED WITH REMOVAL OF EXISTING EQUIPMENT, PIPING, METERS, ETC. BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

T0.3

FLOOR PLAN / RCP GENERAL NOTES

1. THE GENERAL CONTRACTOR (OR CMAR) & ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR REVIEWING & COORDINATING THEIR WORK WITH ALL OF THE CONTRACT DOCUMENTS PRIOR TO BEGINNING ANY WORK ON SUBMITTALS, SHOP DRAWINGS, FABRICATION, OR INSTALLATION. OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE GENERAL CONTRACTOR (OR CMAR) IN WRITING & SHALL BE RESOLVED WITH THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.
2. THE GENERAL CONTRACTOR (OR CMAR) & ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OWNER'S VENDORS INCLUDING, BUT NOT LIMITED TO, TELECOMMUNICATIONS, AUDIO/VISUAL AND SECURITY SYSTEMS. ANY CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF CONTRACT DOCUMENTS & THE OWNER'S VENDORS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE GENERAL CONTRACTOR (OR CMAR) IN WRITING & SHALL BE RESOLVED WITH THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.
3. EXISTING CONDITIONS FOR SITE AS REPRESENTED IN THE CONTRACT DOCUMENTS ARE NOT GUARANTEED. PRIOR TO BEGINNING ANY WORK ON SUBMITTALS, SHOP DRAWINGS, FABRICATION, OR INSTALLATION, THE GENERAL CONTRACTOR (OR CMAR) & ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR INVESTIGATING & VERIFYING THE EXISTENCE & LOCATION OF EXISTING CONSTRUCTION AFFECTING THE WORK INCLUDING, BUT NOT LIMITED TO, UNDERGROUND UTILITIES, EXISTING BUILDING SYSTEMS, FLOOR ELEVATIONS, & OTHER STRUCTURAL OR BUILDING DATUMS.
4. ALL DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS OTHERWISE NOTED.
5. WALLS SHOWN TO ALIGN ARE TO HAVE FINISHED FACES ALIGN UNLESS NOTED OTHERWISE.
6. IF PROVIDED, REFER TO ENLARGED PLANS & PLAN DETAILS FOR ADDITIONAL INFORMATION & DIMENSIONS.
7. LOCATIONS OF ALL DEVICES & FIXTURES DIMENSIONED, NOTED OR OTHERWISE DESCRIBED ARE EXACT. ALL NEW FRAMING MUST ACCOMMODATE THESE LOCATIONS.
8. TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE INCORPORATED AT ALL APPROPRIATE LOCATIONS WHETHER OR NOT SPECIFICALLY REFERENCED AT EACH LOCATION.
9. THE GENERAL CONTRACTOR (OR CMAR) IS RESPONSIBLE FOR ANY REQUIRED DEMOLITION, TEMPORARY SUPPORT OF, AND/OR DAMAGE TO NEW STRUCTURE DURING CONSTRUCTION. ANY UTILITY LINES, PIPING, EQUIPMENT, FINISHES, OR ANY OTHER PORTIONS OF THE EXISTING BUILDING OR NEW CONSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AND/OR REPLACED AT THE ARCHITECT'S DIRECTION AT THE EXPENSE OF THE RESPONSIBLE CONTRACTOR.
10. THE GENERAL CONTRACTOR (OR CMAR) IS TO COORDINATE, PROVIDE, & INSTALL CONCEALED BLOCKING FOR ALL WALL- & CEILING-MOUNTED ITEMS INCLUDING, BUT NOT LIMITED TO, HAND RAILS, GRAB BARS, CABINETRY & OTHER CASEWORK, EQUIPMENT, OWNER- AND/OR VENDOR-PROVIDED ITEMS, ETC. BLOCKING IS TO BE FIRE-RETARDANT WOOD OR 20ga METAL WITH A FLAME SPREAD & SMOKE DEVELOPMENT RATING <25 IF THE PROJECT IS IDENTIFIED AS A TYPE 1 OR TYPE 2 BUILDING IN THE CODE SUMMARY.
11. CONDUIT, WIRING, OR PIPING SHALL BE ROUTED SUCH THAT IT MAY BE CONCEALED WHEREVER POSSIBLE UNLESS SPECIFICALLY NOTED OTHERWISE. ANY CONDUIT, WIRING, OR PIPING THAT CANNOT BE ROUTED IN A CONCEALED MANNER MUST BE IDENTIFIED BY THE GENERAL CONTRACTOR & REVIEWED & COORDINATED W/ ARCHITECT PRIOR TO COORDINATION DRAWINGS (IF REQUIRED) OR INSTALLATION (IF COORDINATION DRAWINGS ARE NOT REQUIRED)
12. IN AREAS OF HARD CEILING, BUILDING SYSTEMS SHALL BE CONFIGURED TO MINIMIZE REQUIRED ABOVE-CEILING ACCESS. THE LOCATION OF ALL ACCESS DOORS MUST BE COORDINATED WITH & APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY ABOVE-CEILING EQUIPMENT, DAMPERS, VALVES, JUNCTION BOXES, ETC. ACCESS DOORS SHALL BE PROVIDED & INSTALLED FOR ANY WORK THAT REQUIRES ABOVE-CEILING ACCESS. ADDITIONALLY, ANY ACCESS DOORS OR PANELS REQUIRED IN WALLS MUST BE COORDINATED WITH & APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY EQUIPMENT REQUIRING ACCESS.
13. ALL FRAMING, SOUND ATTENUATION, & GYP BOARD FOR NON-RATED SOUND-ATTENUATED WALLS SHALL CONTINUE TO THE UNDERSIDE OF DECK UNLESS SPECIFICALLY NOTED OTHERWISE. GYP BOARD SHALL BE SEALED TO DECK AT EACH FACE WITH JOINT COMPOUND, SEALANT, AND/OR EXPANDING FOAM (ACCEPTABLE ONLY IN CONCEALED CONDITIONS). ANY REQUIRED PIPE, DUCT, OR WIRING PENETRATIONS SHALL BE SEALED AS DESCRIBED ABOVE. GWB EXPANSION JOINTS TO BE PROVIDED IN ALL FACES
14. CONTROL JOINTS:
-- CONTROL JOINTS IN EXTERIOR CEILINGS & SOFFITS SHALL BE INSTALLED SO THAT LINEAR DIMENSIONS BETWEEN CONTROL JOINTS DO NOT EXCEED 30 FT (9100 MM) & TOTAL AREA BETWEEN CONTROL JOINTS DOES NOT EXCEED 900 SQ FT.
15. ALL ELECTRICAL, CATV, & TELEDATA OUTLETS TO BE LOCATED 16" O.C. ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE. ALL ELECTRICAL SWITCHES, THERMOSTATS, & OTHER CONTROL DEVICES TO BE CENTERED 46" O.C. ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
16. UNLESS DIMENSIONED OR OTHERWISE NOTED, SET THE NEAREST EDGE OF SWITCHPLATES 24" FROM THE CENTER OF OPENINGS. AT ALL LOCATIONS WHERE MULTIPLE SWITCHES ARE SHOWN, THEY SHOULD BE GANGED UNLESS SPECIFICALLY NOTED OTHERWISE. IN ANY LOCATIONS WITH MULTIPLE DEVICES (ELECTRICAL OUTLETS, ELECTRICAL SWITCHES, HORN/STROBES, EMERGENCY LIGHTS, ETC), ALL DEVICES ARE TO BE CENTERED ON A VERTICAL AXIS UNLESS SPECIFICALLY NOTED OTHERWISE.
17. SEE ELECTRICAL DRAWINGS FOR THE LOCATIONS OF CEILING-MOUNTED SMOKE DETECTORS, SPEAKERS, EXIT SIGNAGE, FIRE ALARM DEVICES, WALL-MOUNTED EXIT LIGHTS, ETC.
18. FOR FURTHER DIMENSIONS SEE LARGE SCALE PLANS, SECTIONS, ELEVATIONS, & DETAILS.
19. SEE T-SHEETS FOR ADDITIONAL NOTES, SYMBOLS & ABBREVIATIONS.

REFLECTED CEILING PLAN LEGEND

- ⊙ RECESSED LED CAN LIGHT
- ⦿ EXIT LIGHT - SEE ELECTRICAL DRAWINGS
-  T&G WOOD CEILING

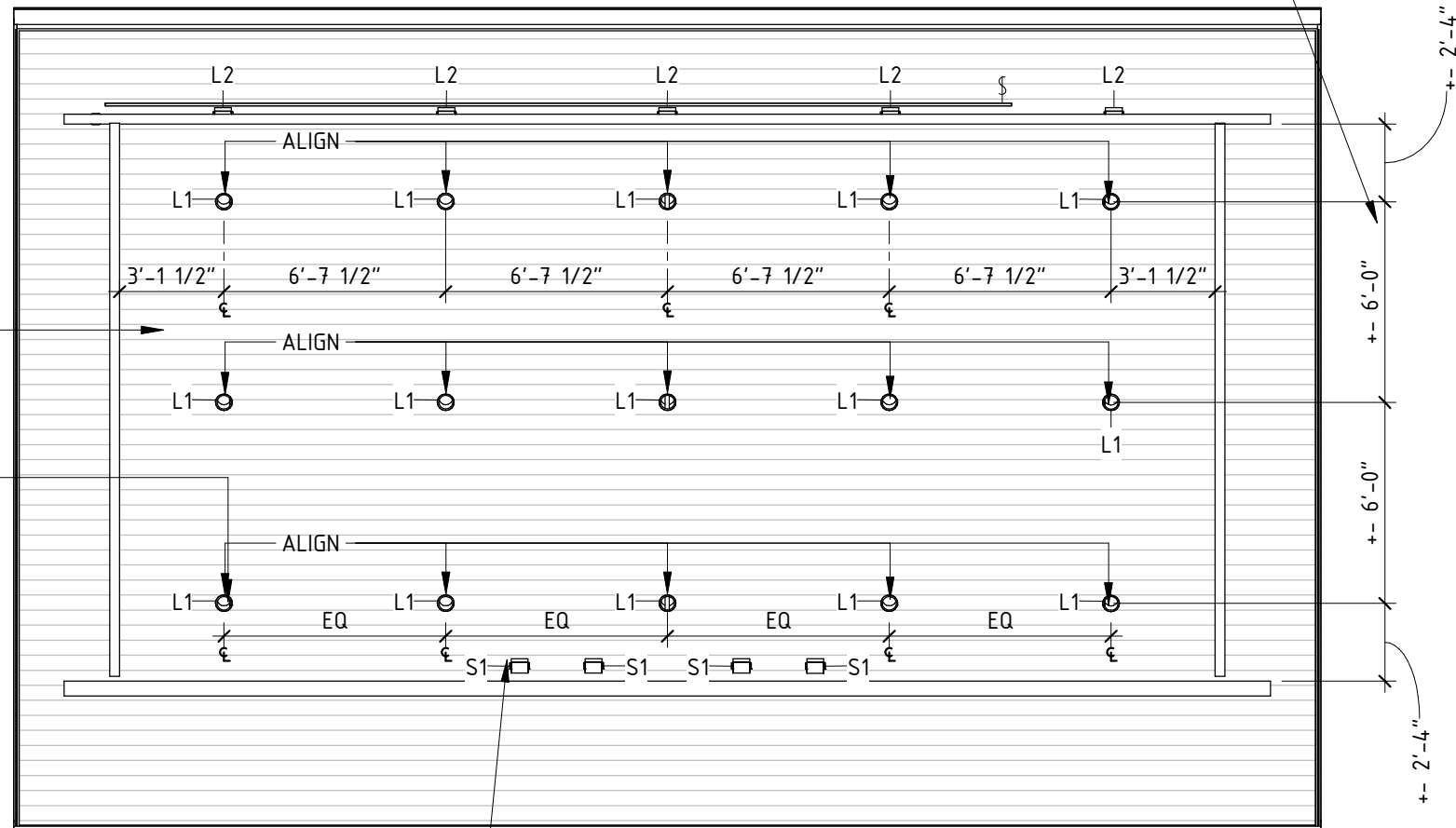
SLOPED 1X6 TONGUE AND GROOVE CEILING

RECESSED CAN LIGHTS, TYP.

SPOTLIGHTS, TBD

LIGHT FIXTURE SCHEDULE		
TYPE	DESCRIPTION	COUNT
L1	6" RECESSED CAN LIGHT	15
L2	DOWNLIGHT WALL WASH RECESSED CAN	5
S1	SPOTLIGHT	4

NOTE: DIMENSIONS ARE +/- TO ALIGN CTR. OF RECESSED CAN WITH WD. CEILING GROOVE CTR., TYP.



CONFIRM AND COORDINATE ELECTRICAL FIXTURES WITH OWNER

3

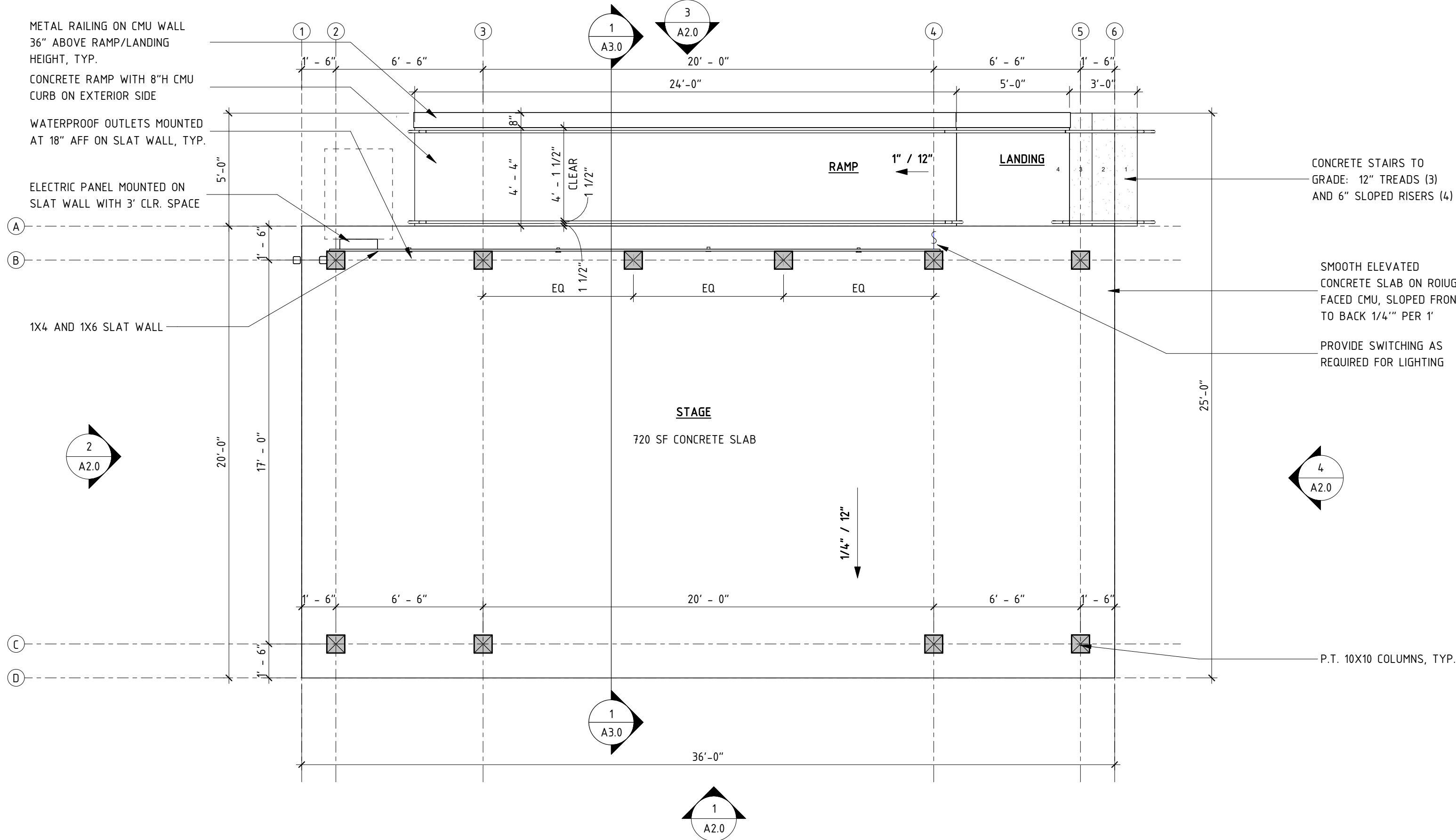
FIRST FLOOR REFLECTED CEILING PLAN

SCALE: 3/16" = 1'-0"

2

ROOF PLAN

SCALE: 1/4" = 1'-0"



1

PROPOSED STAGE FLOOR PLAN/ ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



919 829 4969

115 1/2 E. Hargett St
Suite 300

Raleigh, NC 27601

maurerarchitecture.com



PROJECT TYPE: New Construction

Town of Erwin Stage

Al Woodall Municipal Park - 810 South 16th Street
Erwin, NC

DATE	03.07.2025
DR.	BT
CH.	DSM
PROJ. #	25024

REVISIONS		
NO.	DESCRIPTION	DATE

FLOOR PLAN,
FOUNDATION
PLAN, RCP,
ROOF PLAN

A1.0

NOTE: APPLY MOCKUPS OF EACH PAINT COLOR AND FINISH INDICATED TO VERIFY PRELIMINARY SELECTIONS MADE AND TO DEMONSTRATE AESTHETIC EFFECTS AND SET QUALITY STANDARDS FOR MATERIALS AND EXECUTION.



919 829 4969

115 1/2 E. Hargett St
Suite 300

Raleigh, NC 27601

maurerarchitecture.com



PROJECT TYPE: New Construction

Town of Erwin Stage

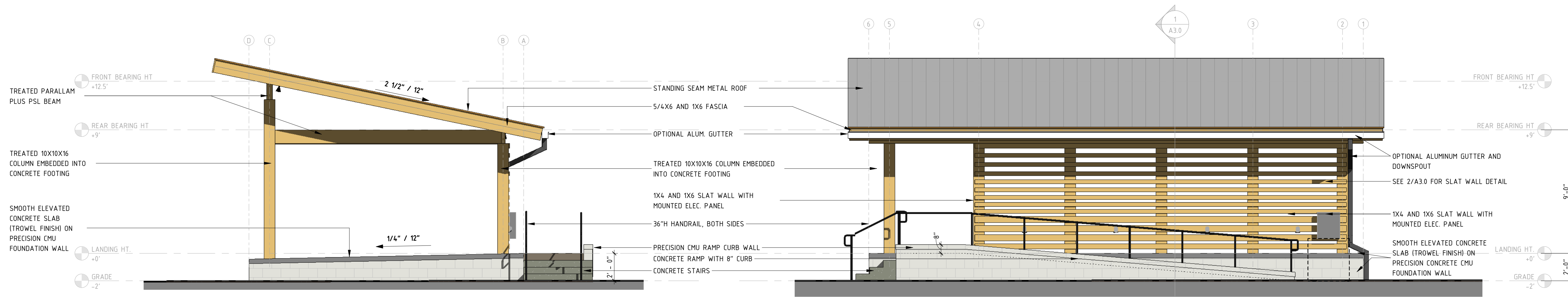
Al Woodall Municipal Park - 810 South 16th Street
Erwin, NC

DATE 03.07.2025
DR. BT
CH. DSM
PROJ. # 25024

REVISIONS		
NO.	DESCRIPTION	DATE

BUILDING
ELEVATIONS

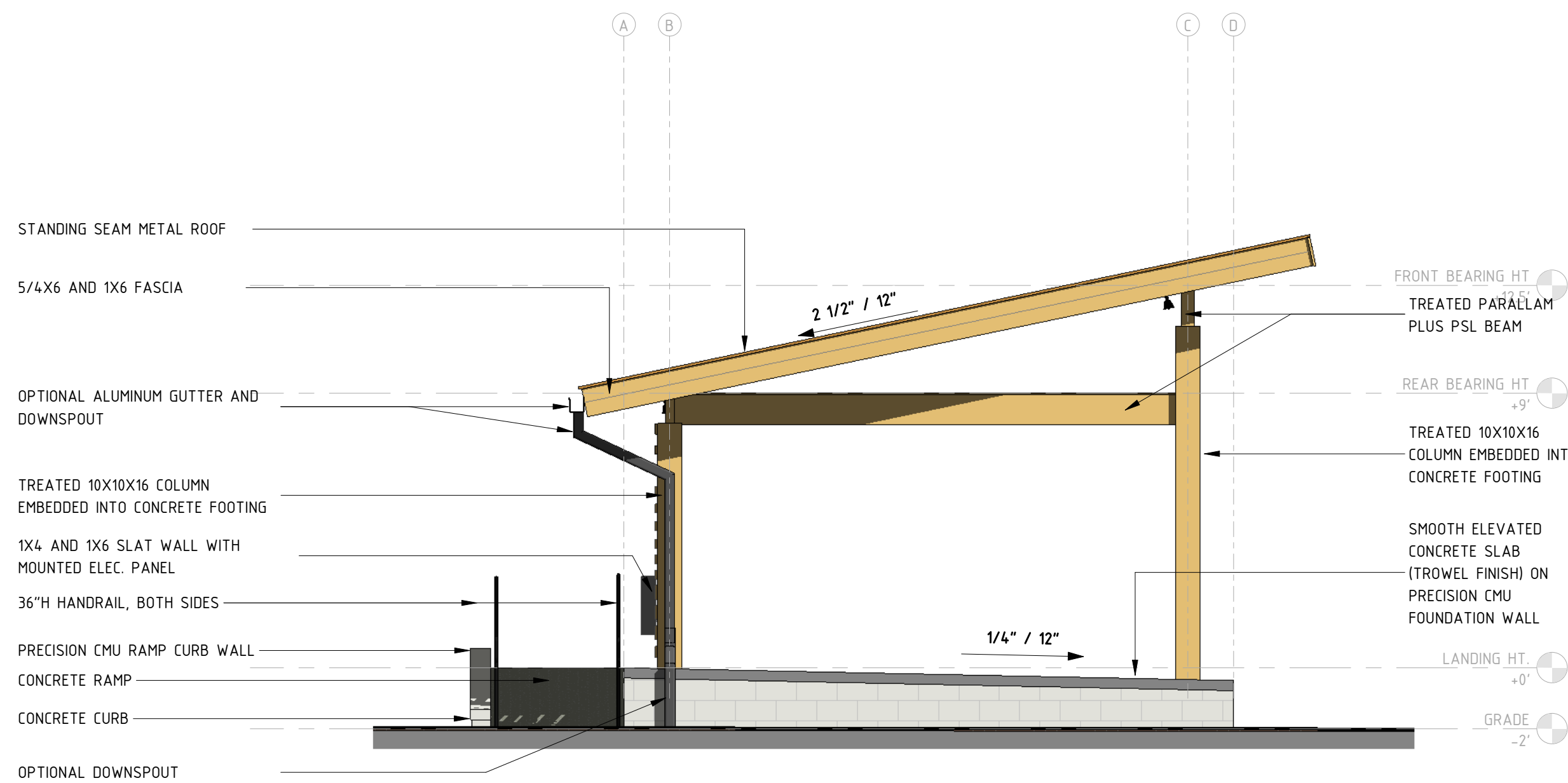
A2.0



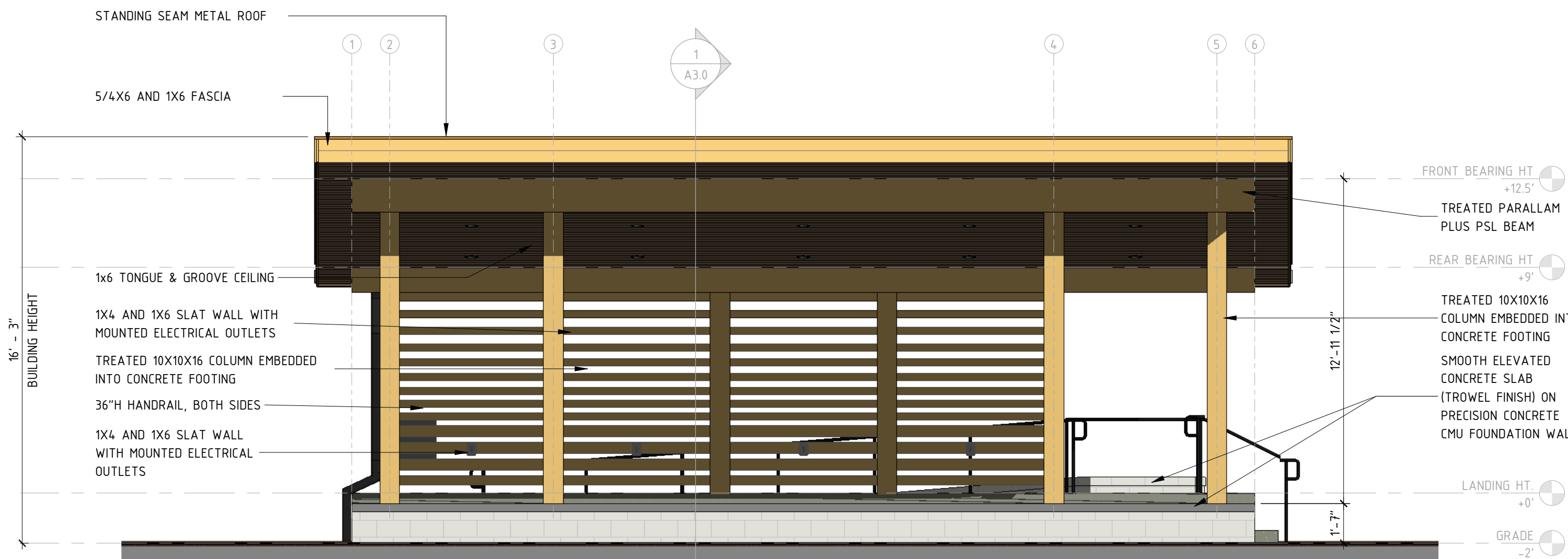
4 STAGE ELEVATION - RIGHT
SCALE: 1/4" = 1'-0"

3 STAGE ELEVATION - REAR
SCALE: 1/4" = 1'-0"

FINISH NOTES:
STAIN ALL PARALLAM BEAMS, TREATED WOOD COLUMNS, AND
SLAT WOOD TO MATCH
STAIN WOOD CEILING TO BE DARKER THAN STRUCTURAL ELEMENTS
STRUCTURAL JOINERY, RAILING, LIGHTING AND OTHER ACCESSORIES
TO BE PAINTED BLACK

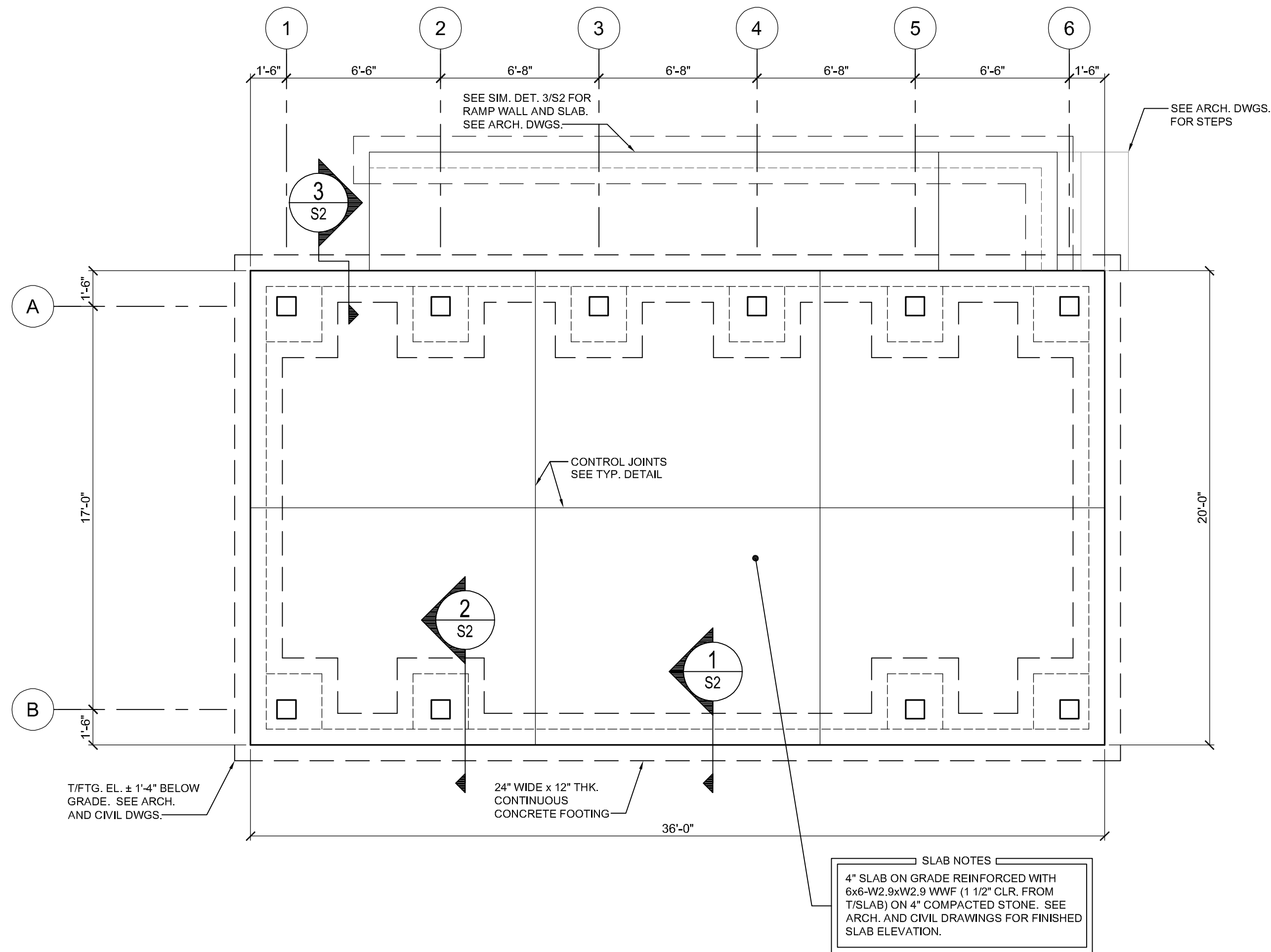


2 STAGE ELEVATION - LEFT
SCALE: 1/4" = 1'-0"

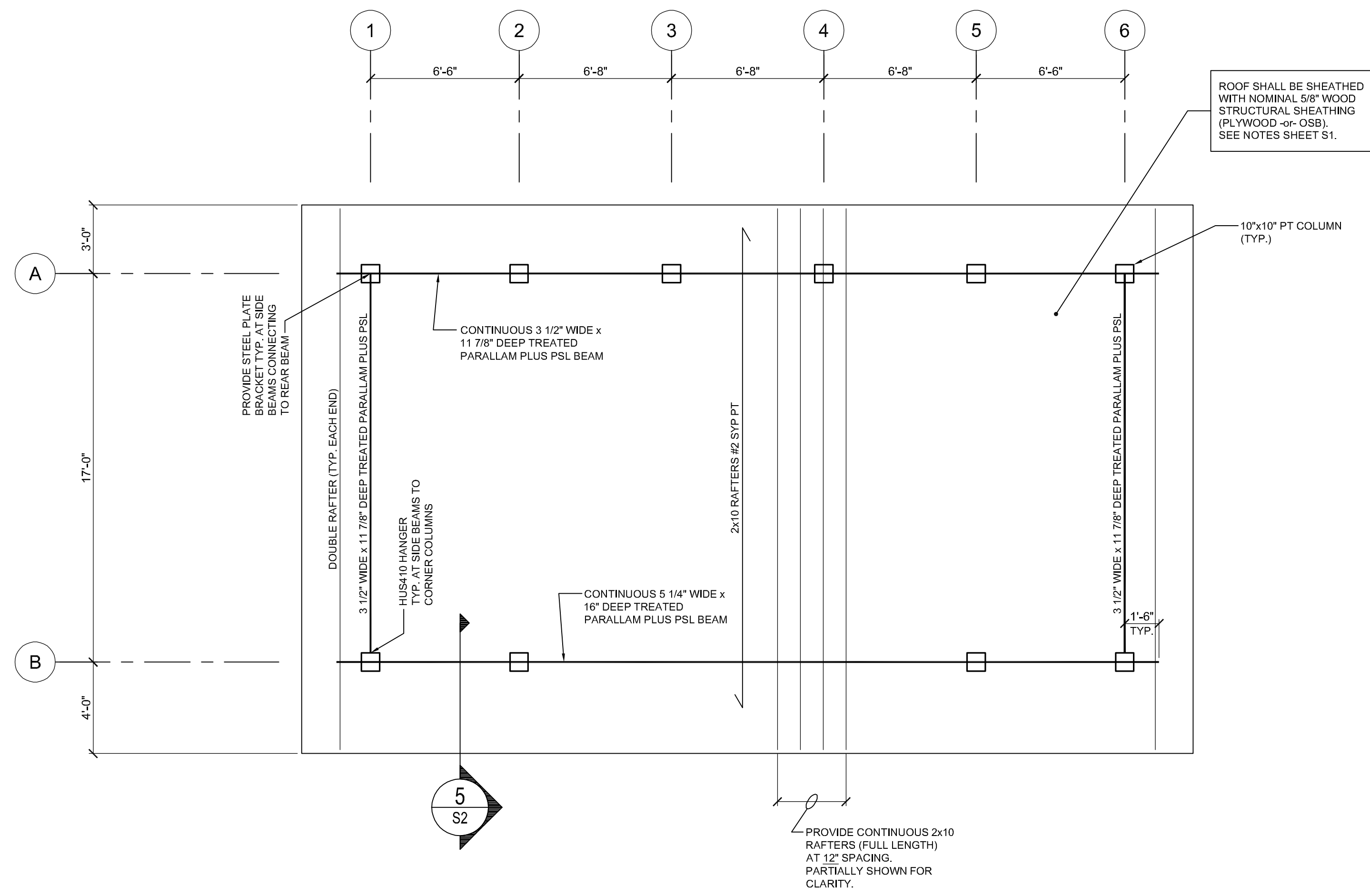


1 STAGE ELEVATION - FRONT
SCALE: 1/4" = 1'-0"

1 BUILDING SECTION 1
SCALE: 1/4" = 1'-0"



1 FOUNDATION PLAN
S1 1/4" = 1'-0"



2 ROOF FRAMING PLAN
S1 1/4" = 1'-0"



STRUCTURAL NOTES

I. GENERAL

1. DESIGN CODES

NORTH CAROLINA BUILDING CODE, 2018 EDITION
(AMENDED 2015 INTERNATIONAL BUILDING CODE)

ACI BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
(ACI 318-14)

AISC MANUAL OF STEEL CONSTRUCTION - ALLOWABLE STRESS DESIGN
NINTH EDITION

ASCE 7-10 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER
STRUCTURES

2. DESIGN LOADS

LIVE LOADS: FLOOR: 100 PSF
ROOF: 20 PSF

ULTIMATE DESIGN WIND SPEED: 119 MPH

GROUND SNOW LOAD 10 PSF

SEISMIC DESIGN CATEGORY C

SITE CLASS D

Ss = 0.184

S1 = 0.086

3. ALL ELEVATIONS ARE REFERENCED FROM FINISHED FLOOR ELEVATION OF 0'-0".
SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

4. DETAILED SHOP DRAWINGS SHALL BE PROVIDED FOR REVIEW AND APPROVAL
PRIOR TO CONSTRUCTION.

5. ENGINEER'S SEAL APPLIES TO STRUCTURAL COMPONENTS ONLY AND DOES
NOT CERTIFY ARCHITECTURAL LAYOUT OR DIMENSIONAL ACCURACY.

6. ROSS LINDEN ENGINEERS PC ASSUMES NO LIABILITY FOR CHANGES OR
MODIFICATIONS MADE TO THESE DRAWINGS BY OTHERS, OR FOR CONSTRUCTION
METHODS, OR FOR ANY DEVIATION FROM THESE DRAWINGS.

II. CONCRETE

1. UNLESS OTHERWISE NOTED, ALL CONCRETE SHALL HAVE THE FOLLOWING
STRENGTH AND SLUMP REQUIREMENTS:
3,500 PSI 28-DAY COMPRESSIVE STRENGTH, MAX. 5" SLUMP.

2. ALL CONCRETE SHALL BE MOIST CURED PER ACI 301 OR CURED WITH AN
APPROVED CURING COMPOUND. CONTRACTOR SHALL VERIFY THAT THE CURING
COMPOUND IS COMPATIBLE WITH FLOOR COVERING ADHESIVES, COATINGS, OR
TOPPINGS TO BE USED. CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS.

3. UNLESS OTHERWISE NOTED, ALL REINFORCING STEEL SHALL BE NEW BILLET
STEEL, CONFORMING TO ASTM A-615, GRADE 60, DEFORMED.

4. UNLESS OTHERWISE NOTED, ALL DETAILING, FABRICATION, AND PLACING OF
REINFORCING STEEL SHALL CONFORM TO THE MANUAL OF STANDARD PRACTICE
FOR DETAILING REINFORCED CONCRETE STRUCTURES. (ACI 315)

5. ALL BAR SPLICES SHALL BE CLASS "B" TENSION SPLICES PER ACI 318-14,
UNLESS OTHERWISE SHOWN.

6. ANCHOR BOLTS TO BE ASTM A36 OR A307.

7. CONTRACTOR SHALL REFER TO DRAWINGS OF OTHER TRADES AND VENDOR
DRAWINGS FOR EMBEDDED ITEMS AND RECESSES NOT SHOWN ON THE
STRUCTURAL DRAWINGS.

8. ALL SPREAD FOOTINGS BEARING ON NATIVE SOIL OR STRUCTURAL FILL ARE
DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 2,500 PSF. A
GEOTECHNICAL REPRESENTATIVE SHALL INSPECT ALL FOOTING EXCAVATIONS
TO CONFIRM ALLOWABLE BEARING PRESSURES.

9. PROVIDE TWO (2) #5 x 4'-0" LONG DIAGONAL BARS IN TOP FACE OF ALL SLABS
(1" CLEAR) AT ALL RE-ENTRANT CORNERS. SEE PLAN FOR LOCATIONS.

10. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, PROTECTING, AND
RELOCATING AS REQUIRED ALL SERVICE AND UTILITY LINES IN VICINITY OF THE
WORK SITE.

11. CONTRACTOR SHALL VERIFY ALL SIZES AND LOCATIONS OF ALL MECHANICAL
AND ELECTRICAL OPENINGS AND EQUIPMENT PADS WITH THE MECHANICAL AND
ELECTRICAL DETAILS AND SHOP DRAWINGS BY OTHERS. IT SHALL BE THE
RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL OPENINGS AND SLEEVES
FOR PROPER DISTRIBUTION FOR ALL UTILITIES THROUGHOUT THE BUILDING.

12. ALL DOWELS WHICH ARE TO BE DRILLED AND GROUTED INTO EXISTING
CONCRETE SHALL BE DONE WITH AN EPOXY GROUT. DRILL HOLE WITH
DIAMETER 1/8" LARGER THAN DOWEL OR AS RECOMMENDED BY GROUT
SUPPLIER. USE HIT-RE 500 V3 BY HILTI OR APPROVED EQUAL.

III. MASONRY

1. MASONRY CONSTRUCTION SHALL COMPLY WITH ACI 530.1-02/ASCE 6-02:
"SPECIFICATION FOR MASONRY STRUCTURES."

2. ASSUMED MASONRY PROPERTIES: UNIT COMPRESSIVE STRENGTH 1900 PSI,
TYPE S MORTAR, PARTIAL GROUT, RUNNING BOND.

3. SEE THE DRAWINGS FOR LINTEL INFORMATION.

4. PROVIDE 9 GA. LADDER-TYPE JOINT REINFORCEMENT AT 16" O.C.

5. SEE DRAWINGS FOR VERTICAL REINFORCING. THE FOLLOWING MINIMUM
VERTICAL REINFORCING SHALL BE IN ADDITION TO REINFORCING SHOWN ON
DRAWINGS: ONE #5 BAR AT EACH CORNER.

6. PROVIDE DOWELS INTO FOOTING OR SLAB TO MATCH VERTICAL REINFORCING.
APPROVED EQUAL. INSTALLATION AND EMBEDMENT DEPTH SHALL BE IN
ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

7. FILL ALL REINFORCED CELLS AND BOND BEAMS WITH 3000 PSI GROUT. PLACE
GROUT IN VERTICAL LIFTS NOT EXCEEDING 6 FEET.

8. EXPANSION ANCHORS SHALL BE HILTI KWIK HUS-EZ EXPANSION ANCHORS OR
APPROVED EQUAL. INSTALLATION AND EMBEDMENT DEPTH SHALL BE IN
ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

IV. STRUCTURAL STEEL

1. ALL STRUCTURAL STEEL WIDE FLANGE BEAMS AND COLUMNS, UNLESS NOTED,
SHALL CONFORM TO THE REQUIREMENTS OF ASTM A992 OR ASTM A572, GRADE
50. ANGLES AND CHANNELS SHALL CONFORM TO ASTM A36. TUBES SHALL
CONFORM TO ASTM A500, GRADE B.

2. ALL DETAILING, FABRICATION, AND ERECTION OF STRUCTURAL STEEL, UNLESS
OTHERWISE NOTED, SHALL CONFORM TO THE REQUIREMENTS OF THE AISC
SPECIFICATIONS FOR BUILDINGS, LATEST EDITION.

3. UNLESS OTHERWISE NOTED, ALL SHOP CONNECTIONS SHALL BE MADE BY
WELDING OR HIGH STRENGTH BOLTING. (3/4" DIAMETER BOLTS, MINIMUM)

4. WELDS SHALL BE MADE WITH E-70XX ELECTRODES BY CERTIFIED WELDERS.

5. CONTRACTOR TO PROVIDE ADEQUATE BRACING FOR STRUCTURE SO THAT IT
WILL BE STABLE DURING ALL STAGES OF CONSTRUCTION. THE STRUCTURE AND
FOUNDATIONS ARE DESIGNED FOR A COMPLETED CONDITION ONLY AND
THEREFORE REQUIRES ADDITIONAL SUPPORT TO MAINTAIN STABILITY BEFORE
COMPLETION.

V. WOOD

1. FRAMING LUMBER SHALL BE #2 SPRUCE PINE FIR (SPF) WITH THE FOLLOWING
MINIMUM DESIGN PROPERTIES:
Fb = 800 PSI Fv = 175 PSI E = 1.4E6 PSI

2. FRAMING LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND,
CONCRETE OR MASONRY SHALL BE #2 SOUTHERN YELLOW PINE (SYP) TREATED
IN ACCORDANCE WITH AWPAC C22 WITH THE FOLLOWING DESIGN PROPERTIES:
Fb = 800 PSI Fv = 175 PSI E = 1.4E6 PSI

3. ENGINEERED WOOD BEAMS SHALL BE LAMINATED VENEER LUMBER (LVL) OR
PARALLEL STRAND LUMBER (PSL) WITH THE FOLLOWING MINIMUM DESIGN
PROPERTIES:
Fb = 2600 PSI Fv = 285 PSI E = 1.9E6 PSI

4. ENGINEERED WOOD BEAMS SHALL BE INSTALLED WITH ALL CONNECTIONS PER
MANUFACTURER'S INSTRUCTIONS.

5. THE RAFTERS SHALL BE SHEATHED WITH NOMINAL 5/8" WOOD STRUCTURAL
SHEATHING (PLYWOOD -or- OSB). PROVIDE PLYWOOD EDGE CLIPS BETWEEN
PANELS.

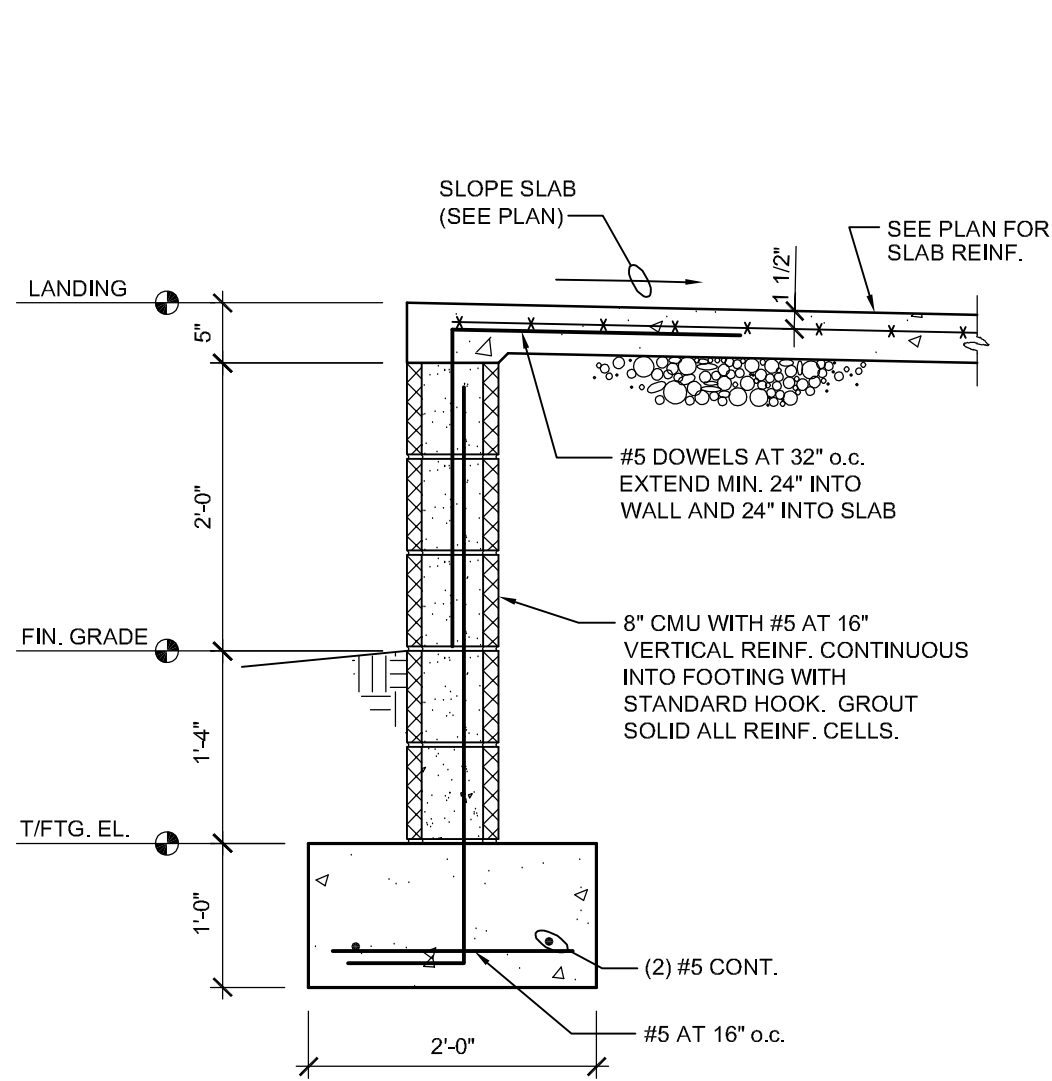
NOTE:
CONTRACTOR'S OPTION TO PROVIDE
ALTERNATE GLULAM FRAMING (BEAMS,
COLUMNS, RAFTERS). MEMBER SIZES
BY OTHERS. SUBMIT TO ENGINEER FOR
APPROVAL PRIOR TO FABRICATION AND
ERECTION.

DATE	3/5/2025
DR.	BR
CH.	BR/BT
PROJ. #	C250203

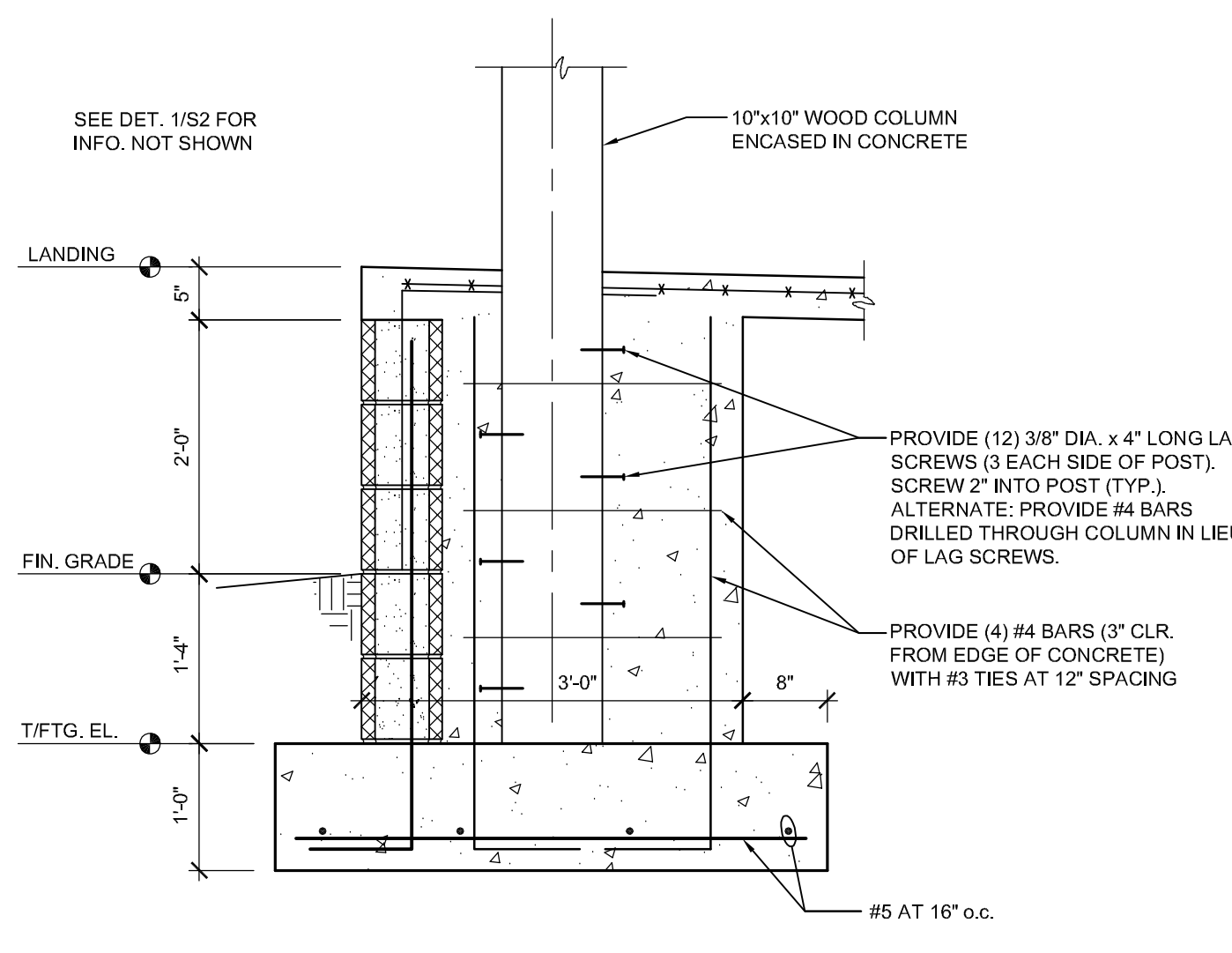
REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

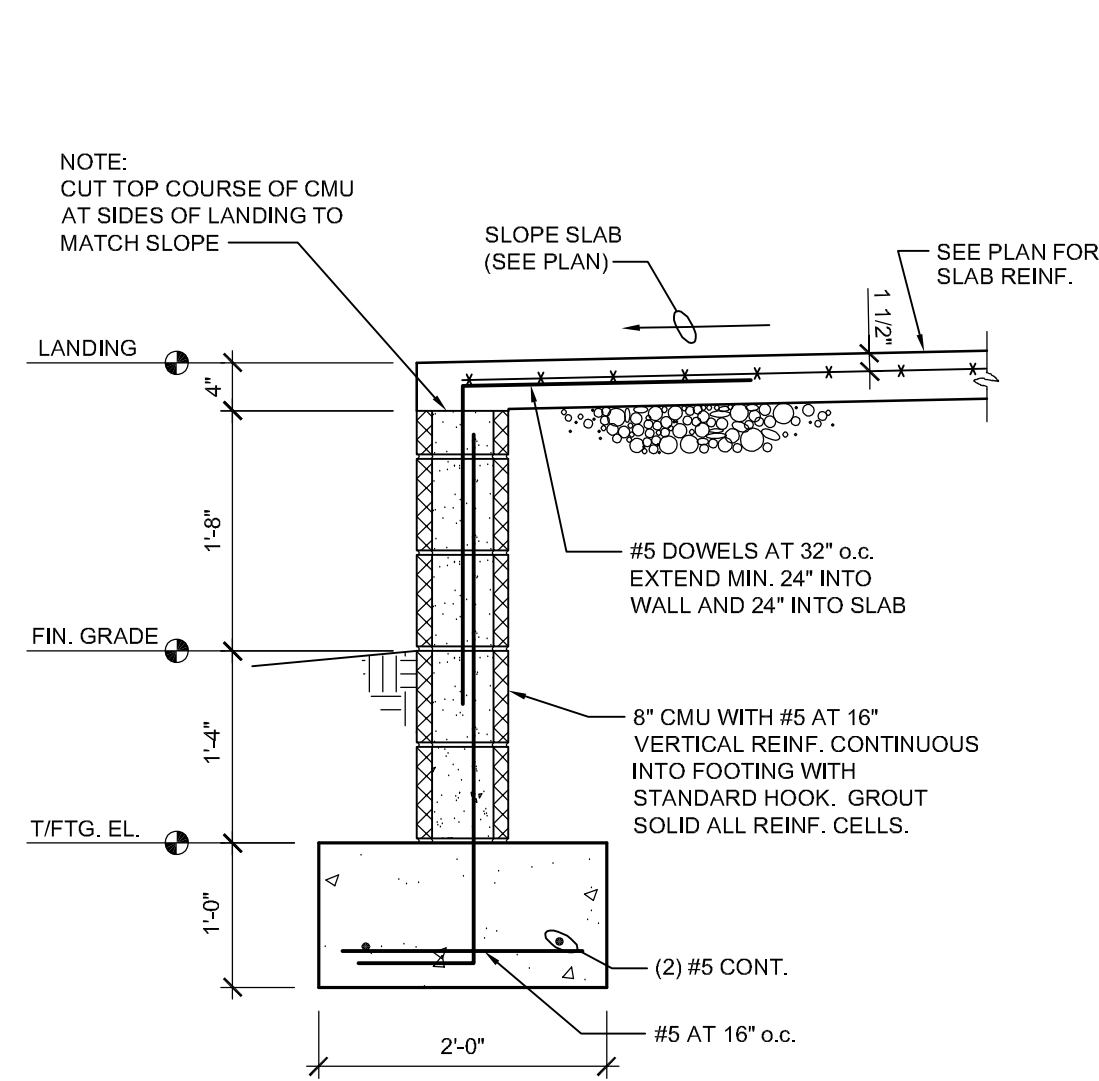
STRUCTURAL
PLANS



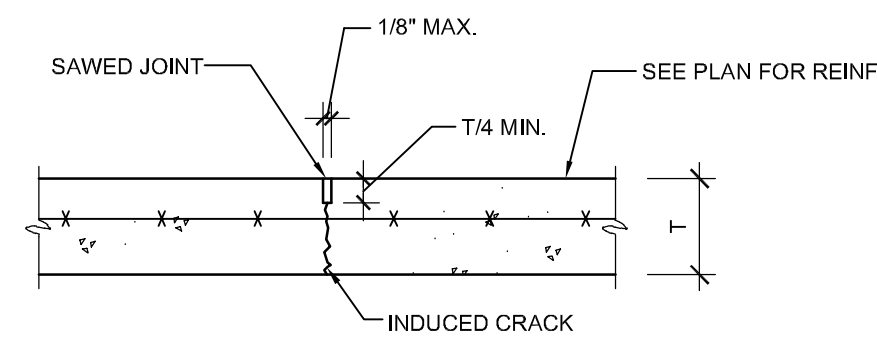
1 SECTION - FOUNDATION WALL
S2 3/4" = 1'-0" HIGH SIDE



2 SECTION - COLUMN FOUNDATION
S2 3/4" = 1'-0"

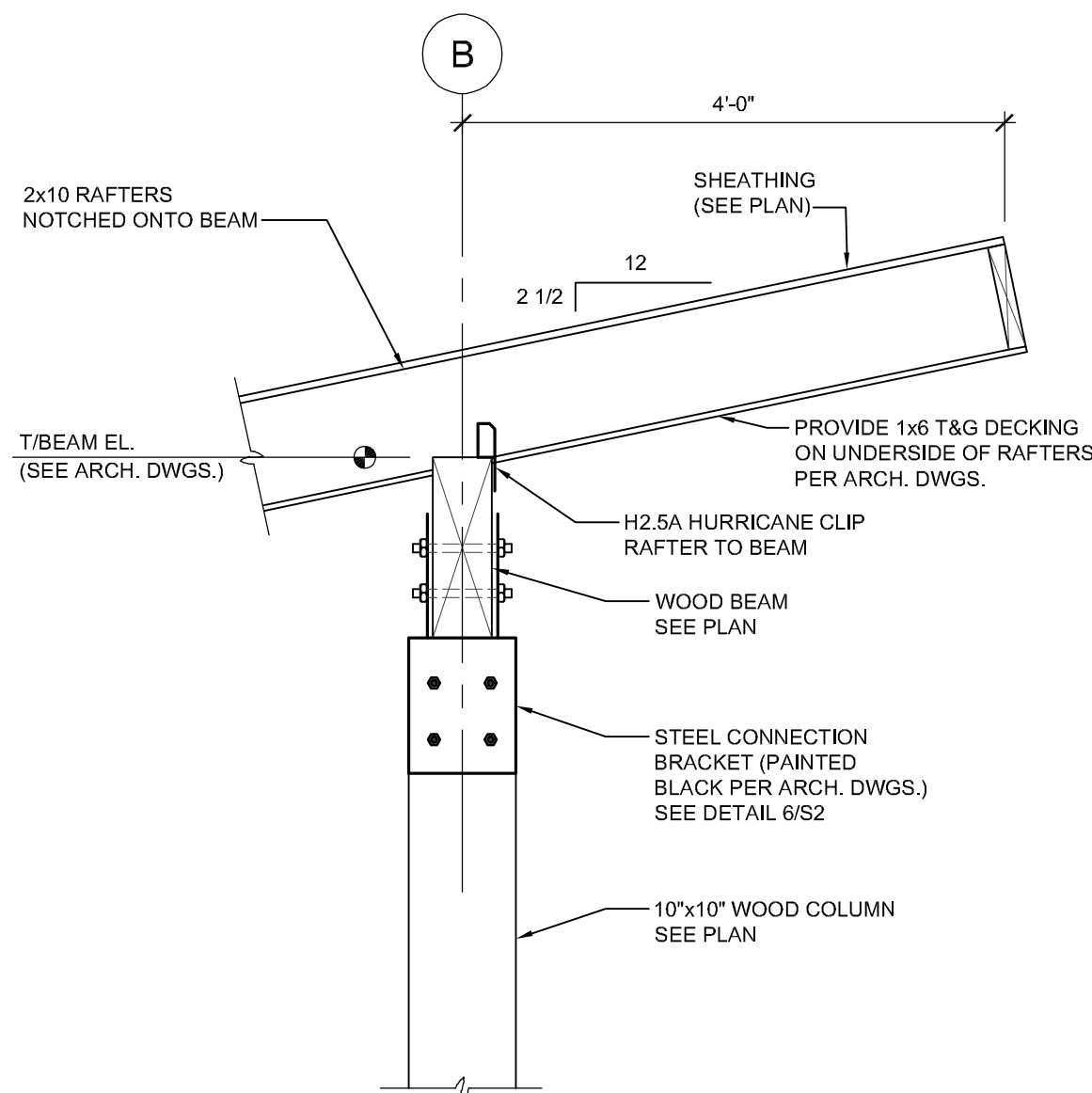


3 SECTION - FOUNDATION WALL
S2 3/4" = 1'-0" LOW SIDE

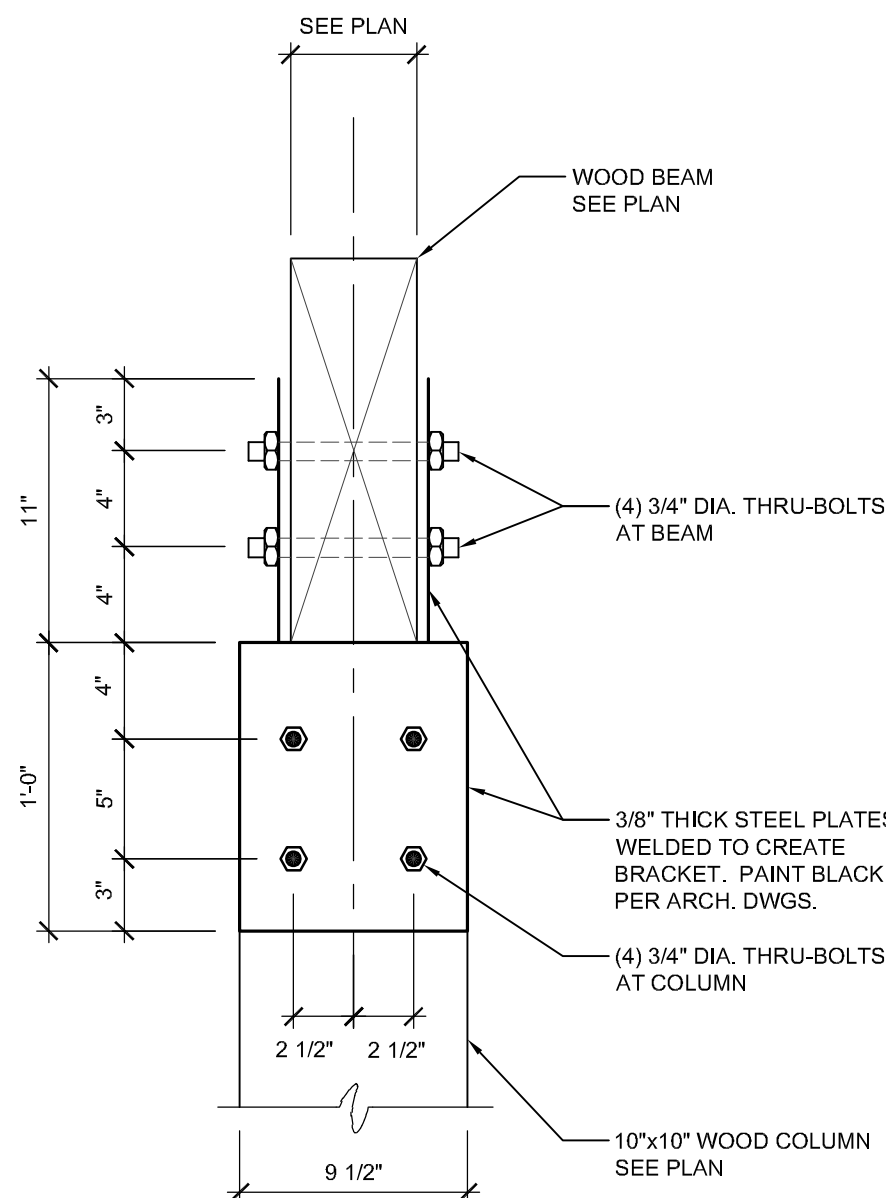


NOTES: 1. SAW JOINTS AS SOON AS CONCRETE WILL NOT RAVEL UNDER SAW BLADE.
2. ADD 20" LONG SMOOTH DOWELS WITH INSERTS AT ALL CONSTRUCTION JOINTS (IF USED).
3. CONTRACTOR'S OPTION TO CUT ALTERNATING WIRES AT JOINTS FOR ADDITIONAL CRACK CONTROL.

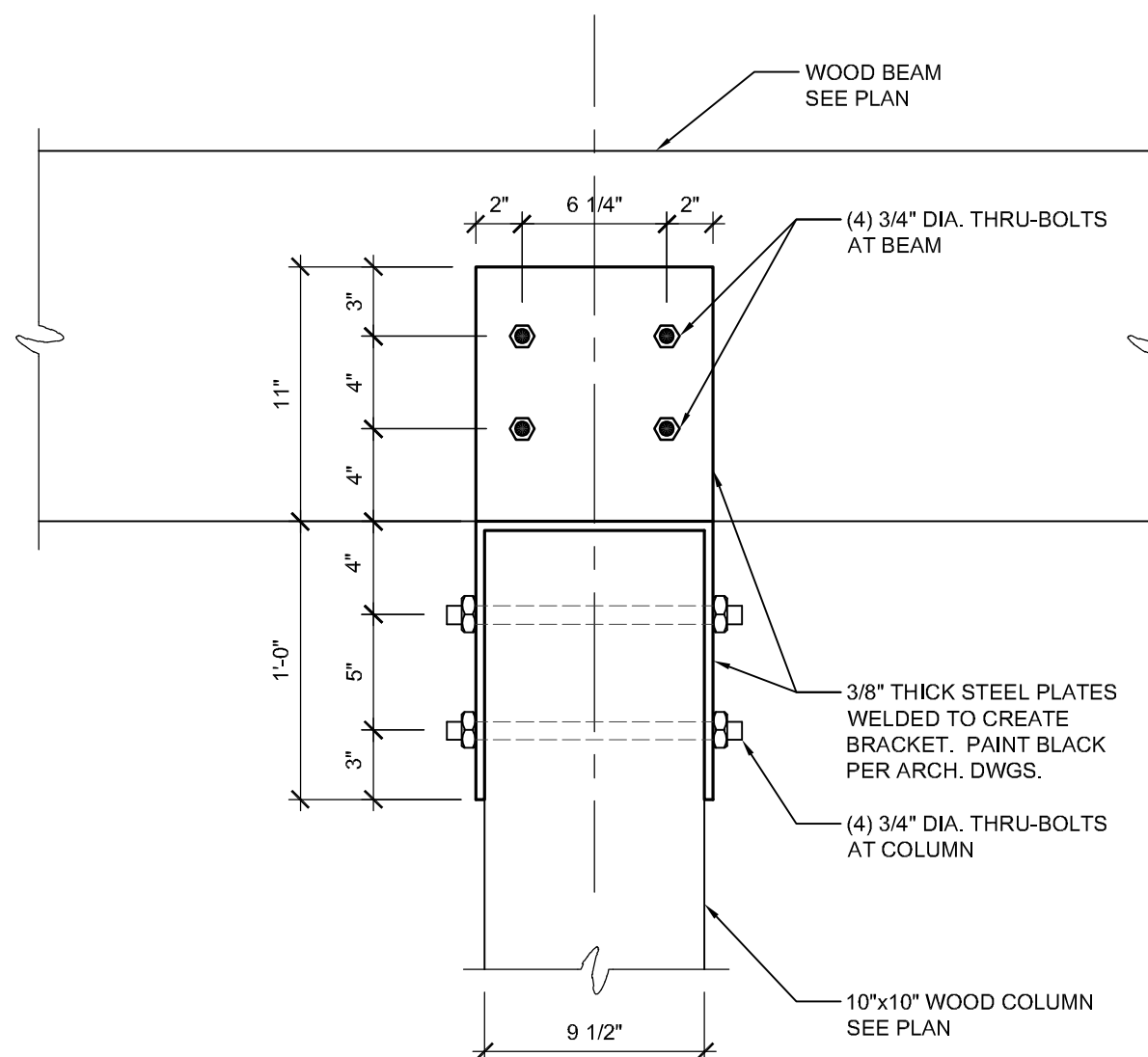
4 DETAIL - TYP. SLAB CONTROL JOINT
S2 1" = 1'-0"



5 FRAMING SECTION
S2 3/4" = 1'-0" HIGH SIDE (LOW SIDE SIMILAR)



6 TYP. CONNECTION DETAIL
S2 3/4" = 1'-0" BEAM TO COLUMN



DATE	3/5/2025
DR.	BR
CH.	BR/BT
PROJ. #	C250203

REVISIONS		
NO.	DESCRIPTION	DATE